

**Ordinance No. 1592
Exhibit "B"**

THE LAKES SPECIFIC PLAN

Specific Plan No. SP 16-02



November 5, 2019

THE LAKES SPECIFIC PLAN

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I. INTRODUCTION

A. SPECIFIC PLAN AREA

The Lakes Specific Plan (TLSP) area is located in the City of El Segundo, County of Los Angeles, California. El Segundo is situated 15 miles southwest of downtown Los Angeles. The City of El Segundo is located south of the City of Los Angeles, west of the City of Hawthorne and the County of Los Angeles, north of the City of Manhattan Beach, and the east of the City of Los Angeles and the Pacific Ocean (refer to Exhibit 1, *Regional Vicinity Map*).

More specifically, the roughly 26.5 gross acre area within the Specific Plan is located in the southeast quadrant of the City of El Segundo, approximately 2.0 miles south of the Los Angeles International Airport (LAX) and the Glen Anderson Century Freeway (I-105), two miles west of the San Diego Freeway (SR-405), and approximately 2.0 miles west of the juncture of these two freeways. The site is bounded by a small commercial shopping center and El Segundo Boulevard to the north, the Southern California Edison high voltage transmission lines and the Raytheon Company Campus to the east, Hughes Way and a public storage facility to the south, the West Basin Municipal Water District Water Recycling Facility to the southeast, and Pacific Coast Highway and the Chevron oil refinery to the west (refer to Exhibit 2, *Local Vicinity Map*, and Exhibit 3, *Local Vicinity Aerial View*). The adjacent land uses are commercial retail and restaurant uses in the Commercial General (C-3) Zone and surface parking lot in the Automobile Parking (P) Zone to the north; a mixture of commercial, industrial and recreational uses in the recently adopted El Segundo South Campus Specific Plan (ESSCSP) to the east; the West Basin Municipal Water District Water Recycling Facility and offices, light industrial and regional commercial retail uses in the Public Facilities (P-F) Zone, Light Industrial (M-1) Zone, and Commercial Center (C-4) Zone respectively to the south and southeast; and industrial uses in the Heavy Industrial (M-2) Zone to the west. A Multi-Media Overlay (MMO) District overlies the entire eastern half of the City, including the Specific Plan area.

A.1 SPECIFIC PLAN SUBAREAS

The Lakes Specific Plan area contains two subareas, as illustrated in Exhibit 5: Public Recreation Open Space (PR/OS), and Commercial Recreation/Open Space (CR/OS).

PUBLIC RECREATION/OPEN SPACE: The Public Recreation/Open Space subarea measures approximately 16 acres in area, and is located in the northern portion of the TLSP area. Future uses and developments allowed by the TLSP includes maintaining the existing Lakes golf course, a 9-hole executive golf course; putting green; Pro Shop with outdoor dining; and a maintenance building at the northern end of the course.

COMMERCIAL RECREATION/OPEN SPACE: The Commercial Recreation/Open Space subarea measures approximately 10.5 acres in area, and is located in the southern portion of the TLSP area. Future uses and development allowed by the TLSP include commercial recreation and entertainment facilities that are open to the public. This will allow for a commercial golf entertainment facility, consisting of a driving range; a multi-story building with hitting bays,

restaurants and kitchen areas, meeting/event facilities, office space, bar areas, and lounges; and surface parking for the TLSP area.

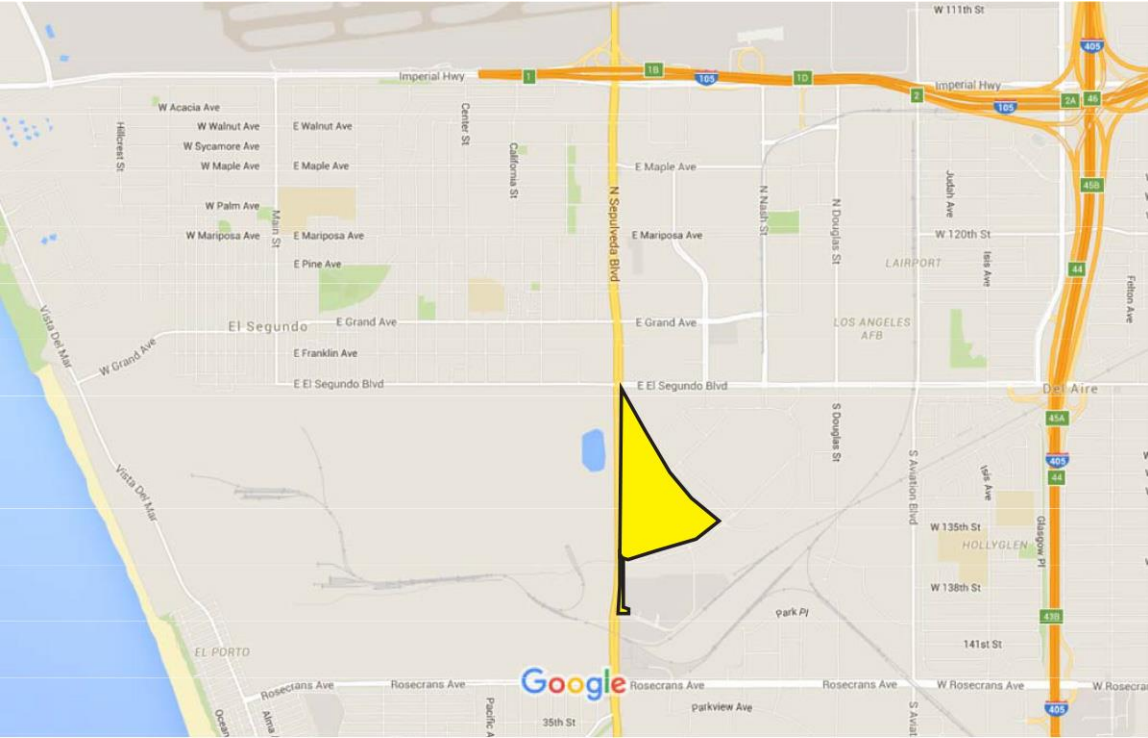
B. BACKGROUND

The Lakes at El Segundo is a municipal golf course owned by the City of El Segundo which opened to the public in June 1994. The 9-hole executive golf course and practice facilities (2-level, 5,953 square-foot 57 bay driving range and putting green) are currently operated by the professional management group Lane/Donovan Golf Partners with the support of City of El Segundo Parks and Recreation Department staff. Additionally, the existing golf course has a 5,330 square-foot Pro Shop with approximately 750 square feet of patio space used for outdoor dining. A small 396 square-foot storage building is located east of the Pro Shop, while a 1,775 square-foot maintenance building is located at the northern end of the course. The golf course uses a 3.58-acre portion of the Southern California Edison property directly east of the golf course that will continue to be used with the adoption of the Specific Plan. Currently, there are 26 parking spaces on a 0.25-acre portion of the abutting West Basin Municipal Water District property that the city will continue to use.

EXHIBIT 1 REGIONAL LOCATION MAP



**EXHIBIT 2
LOCAL VICINITY MAP**



**EXHIBIT 3
LOCAL VICINITY AERIAL VIEW**



The buildings that currently exist on site cumulatively measure 14,204 square feet, for an FAR of approximately 0.012 (refer to Exhibit 4, *Existing Development*). The current square footage is broken down as follows between uses:

**Table I-1
Existing Uses**

Use	Square Footage
Office	110
Retail (Pro Shop)	1,030
Restaurant	1,870
Outdoor Dining	750
Meeting/Event Space	700
Storage (Pro Shop, Maintenance and Separate Storage Buildings) <ul style="list-style-type: none"> • Pro Shop – 150 • Maintenance Building – 1,775 • Detached Storage Building - 396 	2,321
Restrooms	1,470
Driving Bays	5,953
Total	14,204

The existing buildings consist of:

**Table I-2
Existing Buildings**

Building	Use	Square Footage
Pro Shop Building	Retail, Restaurant, Office, Meeting Room/Event Space, Restrooms and Storage	5,330
Maintenance Building	Maintenance	1,775
Detached Storage Building	Storage	396
Driving Range Building	Golf Course Driving Range (Hitting Bays)	5,953
Patio	Patio and Outdoor Dining	750
Total		14,204 square feet

EXHIBIT 4 EXISTING DEVELOPMENT



Under the existing Open Space (O-S) development standards, an additional 912,437 square feet could be built based on the limitations of 40 percent lot coverage and twenty-six foot high buildings. This equates to a total FAR of 0.80. With the FAR, the Property is underdeveloped and could support additional building area and recreational uses.

The City entered into a Lease Agreement with E.S. CenterCal, LLC (“CenterCal”) which has a Commencement Date of _____, 2019 to develop a commercial recreation and entertainment golf facility on the site, as well as build a new Pro Shop and make modifications to the existing golf course and green areas. The Lease Agreement was contingent on CEQA being completed and the proposed project being approved by the City Council. In order to complete this development, CenterCal filed for this Specific Plan in June 2016 along with other applications, including an Environmental Assessment, a General Plan and General Plan Map Amendment, Zoning Map Amendment, Zone Text Amendment, Lot Line Adjustment, Site Plan Review and Conditional Use Permit.

The intent of the Specific Plan is to allow development of the subareas identified by the Specific Plan. Thus, adoption of this Specific Plan will allow future expansion of uses permitted on the site with development standards for each subarea that are tailored to the unique recreation and entertainment uses in the Specific Plan area.

II. OVERVIEW OF THE SPECIFIC PLAN

A. PURPOSE AND AUTHORITY OF SPECIFIC PLAN

The purpose of this Specific Plan is to provide a regulatory framework to govern the land uses and development within the subject area through the application of regulations, standards and design guidelines. The Lakes Specific Plan provides text and exhibits which describe the proposed subareas, land uses and associated guidelines, and development standards.

This Specific Plan is adopted pursuant to Government Code §§ 65450 through 65457.

Pursuant to Government Code § 65451, a Specific Plan must include text and a diagram or diagrams which specify all of the following in detail:

- The distribution, location, and extent of the uses of land, including open space within the area covered by the plan.
- The proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the land area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects and financing measures necessary to carry out the above items.
- A discussion of the relationship of the Specific Plan to the General Plan.

A thorough review of the El Segundo General Plan shows that this Specific Plan is compatible and consistent with the goals and policies outlined in the General Plan. This Specific Plan will further the goals and policies of the General Plan as more fully described below.

This Specific Plan was prepared to provide the essential relationship between the policies of the El Segundo General Plan and the development anticipated in the Specific Plan area. By functioning as a regulatory document, The Lakes Specific Plan provides a means of implementing the City of El Segundo's General Plan. All future development plans and entitlements within the Specific Plan boundaries must be consistent with the standards set forth in this document.

B. SPECIFIC PLAN SCOPE AND GOALS

The City of El Segundo is an employment-led community and accordingly, development has been led by employment rather than housing growth. The Lakes Specific Plan will serve the mission of economic development in the City which is to create, maintain, and implement a business climate that fosters a strong economic community, develop a strategic plan that will result in business retention and attraction, provide an effective level of City services to all elements of the community, and maintain the quality of life that has characterized El Segundo for more than nine decades.

Permitted uses within the Specific Plan area will create job opportunities and provide additional recreational and entertainment options for the residential and business community alike. Furthermore, the growth allowed by the Specific Plan will create a synergy with other commercial and industrial uses in the area by providing additional recreational and entertainment amenities in the City which will help these businesses to attract and retain employees. The development allowed under the Specific Plan will provide a basis for a positive contribution to the maintenance and expansion of El Segundo's economic base as development typically increases the City's business license taxes, increases the City's utility user taxes, and increases the City's sales taxes. An increased economic base will provide the City with resources to provide high-quality services to its residents and daytime population.

C. CONSISTENCY WITH THE GENERAL PLAN

The El Segundo General Plan provides the underlying fundamentals of The Lakes Specific Plan, which serves both as a planning and regulatory document. The Specific Plan is the document implementing the El Segundo General Plan for the Specific Plan area.

Proposed development plans, lot line adjustment maps, and any other development approvals must be consistent with the Specific Plan. Projects consistent with this Specific Plan will be automatically deemed consistent with the General Plan.

The Lakes Specific Plan requires a General Plan Amendment to change the Land Use designation from Parks, to The Lakes Specific Plan with an accompanying Land Use Map change. With approval of this amendment, the Specific Plan is consistent with the General Plan of the City of El Segundo, that is, it is compatible with, and will not impede, the General Plan's goals, objectives and policies. More particularly, The Lakes Specific Plan directly implements or furthers the intent of the following goals, objectives and policies of the General Plan:

LAND USE ELEMENT

Goal LU4: Provide a stable tax base for the City through development of new commercial uses, primarily within a mixed-use environment, without adversely affecting the viability of Downtown.

Objective LU4-1: Promote the development of high quality retail facilities in proximity to major employment centers.

Policy LU4-1.1: Require landscaping, its maintenance, and permanent upkeep on all new commercial developments.

Policy LU4-1.2: All commercial facilities shall be built and maintained in accordance with Health and Safety Code requirements and shall meet seismic safety regulations and environmental regulations.

Policy LU4-1.4 New commercial developments shall meet seismic safety standards and regulations, as well as comply with all noise, air quality, water and environmental regulations.

Objective LU4-4: Provide areas where development has the flexibility to mix uses, in an effort to provide synergistic relationships which have the potential to maximize economic benefit, reduce traffic impacts, and encourage pedestrian environments.

Goal LU6: Maintain and upgrade the existing excellent parks, recreation, and open space facilities within the City of El Segundo.

Objective LU6-1: The development of parks, open space, and recreational facilities should be consistent with the guidelines, policies, and programs of the Open Space and Recreation Element.

Policy LU6-1.1: Continue to provide uniform and high quality park and recreational opportunities to all areas of the City, for use by residents and employees.

Policy LU6-1.3: Utilization of utility easements (flood control, power line rights-of-way) for recreational, open space, and beautification purposes should continue and additional possibilities should be explored.

Goal LU7: Provide the highest quality public facilities, services, and public infrastructure possible to the community.

Objective LU7-1: Provide the highest and most efficient level of public services and public infrastructure financially possible.

Policy LU7-1.2: No new development shall be allowed unless adequate public facilities are in place or provided for.

Policy LU7-2.3: All new development shall place utilities underground.

Policy LU7-2.4: All new public buildings shall have adequate off-street parking spaces, or the City shall provide adequate public transportation, in accordance with the provisions and standards of all elements

of the General Plan, to accommodate employees and the public.

Policy LU7-2.5: All public facilities and utilities should be designed to enhance the appearance of the surrounding areas in which they are located.

ECONOMIC DEVELOPMENT ELEMENT

Goal ED1: To create in El Segundo a strong, healthy economic community in which all diverse stakeholders may benefit.

Objective ED1-1 To build support and cooperation among the City of El Segundo and its business and residential communities for the mutual benefits derived from the maintenance and expansion of El Segundo's economic base.

Policy ED1-1.2: Focus short-run economic development efforts on business retention and focus longer-run efforts on the diversification of El Segundo's economic base in order to meet quality of life goals.

Objective ED1-2: Center diversification efforts on targeted industries that meet the City's criteria for job creation, growth potential, fiscal impact, and fit with local resources.

Policy ED1-2.1: Seek to expand El Segundo's retail and commercial base so that the diverse needs of the City's business and residential communities are met.

Policy ED1-2.2: Maintain and promote land uses that improve the City's tax base, balancing economic development and quality of life goals.

Policy ED1-2.3: Seek to balance the City's economic development program with the City's resources and infrastructure capacity.

CIRCULATION ELEMENT

Goal C1: Provide a safe, convenient, and cost-effective circulation system to serve the present and future circulation needs of the El Segundo community.

Policy C1-1.8: Provide all residential, commercial, and industrial areas with efficient and safe access to the major regional transportation facilities.

Policy C1-1.9: Provide all residential, commercial, and industrial areas with efficient and safe access for emergency vehicles.

- Policy C1-3.2 Ensure that the development review process incorporates consideration of off-street commercial loading requirements for all new projects.
- Policy C2-2.2: Encourage new development to provide facilities for bicyclists to park and store their bicycles and provide shower and clothes hanging facilities at or close to the bicyclist’s work destination.
- Policy C2-5.1: Ensure that Transportation Demand Management (TDM) measures are considered during the evaluation of new developments within the City, including but not limited to ridesharing, carpooling and vanpooling, flexible work schedules, telecommuting and car/vanpool preferential parking.
- Policy C3-1.8: Require the provision of adequate pedestrian and bicycle access for new development projects through the development review process.
- Policy C3-2.1: Ensure the provision of sufficient on-site parking in all new development.

OPEN SPACE AND RECREATION ELEMENT

Goal OS1: Provide and maintain high quality open space and recreational facilities that meet the needs of the existing and future residents and employees within the City of El Segundo.

Objective OS1-1: Preserve existing and acquire future public park and recreation facilities which are adequate for serving the existing and future resident population.

Objective OS-1-2: Preserve existing and support acquisition of additional private park and recreation facilities to foster recognition of their value as community recreation and open space resources.

Objective OS1-3: Provide recreational programs and facilities for all segments of the community.

Policy OS1-3.4: Encourage commercial recreational uses to locate in El Segundo.

Objective OS1-4: Develop utility transmission corridors for active or passive open space and recreational use.

CONSERVATION ELEMENT

- Policy CN2-5: Require new construction and development to install water-conserving fixtures and appliances to reduce the amount of new demand.
- Policy CN2-7: Require new construction and development to incorporate the principles and practices of sound landscape design and management, particularly those conserving water and energy.
- Policy CN2-8: Encourage the retrofitting of existing landscapes to incorporate the principles and practices of sound landscape design and management, particularly those conserving water and energy.
- Policy CN2-11: Encourage, whenever appropriate and feasible, development techniques which minimize surface run-off and allow replenishment of soil moisture. Such techniques may include, but not be limited to, the on-site use and retention of storm water, the use of pervious paving material (such as walk-on-bark, pea gravel, and cobble mulches), the preservation of vegetative covers, and efficiently designed and managed irrigation systems.

NOISE ELEMENT

Goal N1: Encourage a high quality environment within all parts of the City of El Segundo where the public's health, safety, and welfare are not adversely affected by excessive noise.

Objective N1-1: It is the objective of the City of El Segundo to ensure that City residents are not exposed to mobile noise levels in excess of the interior and exterior noise standards or the single event noise standards specified in the El Segundo Municipal Code.

Objective N1-2: It is the objective of the City of El Segundo to ensure that City residents are not exposed to stationary noise levels in excess of El Segundo's Noise Ordinance standards.

Policy N1-2.1: Require all new projects to meet the City's Noise Ordinance Standards as a condition of building permit approval.

Program N1-2.1A: Address noise impacts in all environmental documents for discretionary approval projects, to insure that noise sources meet City Noise Ordinance standards. These sources may include mechanical or electrical equipment, truck loading

areas, or outdoor speaker systems.

PUBLIC SAFETY ELEMENT

Objective PS1-1: It is the objective of the City of El Segundo to reduce exposure to potentially hazardous geological conditions through land use planning and project review.

Program PS1-1.1A: The City shall review projects to ensure that slope design considers the potential effects of high rainfall, private sewage systems, landscaping irrigation, and possible runoff from adjacent future development.

Policy PS1-1.2: Enforce, monitor and improve development standards which place the responsibility on the developer, with advice from qualified engineers and geologists, to develop and implement adequate mitigation measures as conditions for project approval.

Program PS1-1.2A: The City shall review projects to ensure that adequate geotechnical investigation has been completed in areas susceptible to landsliding and debris flows and in areas where collapsible or expansive soils occur, and to approve only those which mitigate these hazards to the satisfaction of the City Engineer.

Goal PS2: Minimize injury and loss of life, property damage, and social cultural and economic impacts caused by earthquake hazards.

Policy PS2-1.2: The City shall assist in the prevention of structural damage in areas with a high potential for liquefaction, landslides, and mudslides by requiring geotechnical studies for new development to mitigate potential impacts.

Objective PS6-1: It is the objective of the City of El Segundo that the City minimize threats to public safety and protect property from wildland and urban fires

Policy PS6-1.1: Review projects and development proposals, and upgrade fire prevention standards and mitigation measures in areas of high urban fire hazard.

Program PS6-1.2C: The City shall continue to require that all property be maintained in compliance with the fire code.

Goal PS7: Protect public health, safety, and welfare, and minimize loss of life, injury,

property damage, and disruption of vital services, resulting from earthquakes, hazardous material incidents, and other natural and man-made disasters.

D. ENTITLEMENTS

The following entitlements are required in conjunction with this Specific Plan (SP No. 16-02):

- Environmental Assessment No. EA 1135 for a 66,294 square-foot commercial recreation and entertainment facility, a 2,500 square-foot Pro Shop, modifications to three holes at the existing golf course, and parking lot expansions and modifications.
- General Plan Amendment No. GPA 16-01 to change the land use designation from Parks, to “The Lakes Specific Plan (TLSP)”. The amendment also includes a change to the General Plan Land Use Map.
- Zone Text Amendment No. ZTA 16-04 to add a new section to the City’s Zoning Code, ESMC §15-3-2(A)(11) “The Lakes Specific Plan (TLSP).”
- Zone Change No. ZC 16-01 to rezone the property from Open Space (OS), to The Lakes Specific Plan (TLSP).
- Lot Line Adjustment No. SUB 16-03 to reconfigure the two existing city-owned parcels that comprise The Lakes Specific Plan area.
- Conditional Use Permit No. CUP 16-05 to allow the on-site sale and consumption of beer, wine and alcohol at the Commercial recreation and entertainment facility for the restaurant, bar and entertainment areas.
- Administrative Use Permit No. AUP 16-09 for review of the signs.
- Site Plan Review No. SPR 16-01 for development improvements consistent with The Lakes Specific Plan.

Findings justifying the General Plan Amendment and Zone Change include:

1. The primary objective of The Lakes Specific Plan is to provide for superior, more comprehensive site planning of the Specific Plan area and development standards that address the needs of the unique public recreation and commercial recreation uses on site.
2. Uses permitted within The Lakes Specific Plan area are fundamentally consistent with the prior zoning and are compatible with adjacent uses.

E. EXISTING LAND USES

The City of El Segundo has distinctive land use patterns, which are divided into four quadrants by the intersection of Pacific Coast Highway and El Segundo Boulevard. Compatibility of an individual land use is determined mainly by its relationship to other uses within its quadrant. The Lakes Specific Plan area is located in the southeastern quadrant of the City of El Segundo, which is east of Pacific Coast Highway and south of El Segundo Boulevard. The design and implementation of this Specific Plan relate directly to its position within this larger context.

The southeast quadrant of the City is primarily designated for light industrial which allows a mixture of industrial and office uses. This quadrant also contains a commercial region which is home to the retail development of Plaza El Segundo, an approximately 500,000 square foot lifestyle commercial retail shopping center and the Lakes Municipal Golf Course, which is the subject site of this Specific Plan. The northeast quadrant of the City lies north across El Segundo Boulevard and consists primarily of corporate office and urban mixed uses which allow for office and commercial uses. The southwest quadrant of the City lies directly across Pacific Coast Highway and consists primarily of an oil refinery/heavy industrial use. A Multimedia Overlay District overlies both the southeast and northeast quadrants of the City. Before the adoption of The Lakes Specific Plan (TLSP) the property was designated as Parks in the General Plan Land Use Element with Open Space zoning.

Adjacent land uses include the following:

- North: The land uses to the north include a small commercial shopping center with retail and restaurants directly adjacent to the existing golf course and mid- and high-rise office buildings with multi-story parking structures are located across El Segundo Boulevard. LAX is located approximately 1.0 mile north of the Specific Plan area.
- East: The adjacent land uses to the east include the Edison transmission lines, the industrial uses in the El Segundo South Campus Specific Plan and the elevated MTA Green Line. The El Segundo Boulevard Green Line station is located at the northeast corner of the El Segundo South Campus Specific Plan along El Segundo Boulevard at Nash Street.
- South: The adjacent land uses to the south/southeast include a public storage facility and the West Basin Municipal Water District Recycling Facility and offices. The Plaza El Segundo commercial retail shopping center is located south of the public storage facility. A Federal Express distribution facility and the City of El Segundo Stormwater retention basin are located further south of the West Basin Municipal Water District Recycling Facility and offices.
- West: Land uses to the west include the Chevron Refinery which is located directly across Pacific Coast Highway.

III. LAND USE PLAN

The Lakes 9-hole executive municipal golf course at 400 South Pacific Coast Highway has been located on a 26.54 acre site since 1994. The golf course currently extends into a 3.58 acre portion of the Southern California Edison (SCE) property directly east of the site, which part is subject to a license agreement between the City of El Segundo and Southern California Edison. The 3.58 acre SCE area is not part of this Specific Plan and has a zoning designation of Open Space (OS) Zone which allows golf course uses. The existing golf course also has a two-level, 57-bay driving range, putting green and a 5,330 square-foot Pro Shop with an approximately 750 square-foot patio used for outdoor dining. The golf course also has a 1,775 square-foot maintenance building at the northernmost part of the site that will remain. The 5,330 square-foot Pro Shop and a 396 square-foot storage building would be demolished as part of the development authorized under The Lakes Specific Plan. The buildings would be replaced with a new smaller 2,500 square-foot Pro Shop with outdoor patio area. The driving range and putting green will also be demolished and replaced with a new target green, putting green and chipping green area. The 9-hole golf course would be redesigned to accommodate the construction of a new, approximately 66,300 gross square-foot commercial recreation and entertainment facility that would be constructed south of the existing 9-hole golf course. The development project will also involve the expansion of the parking lot onto a 0.67-acre portion of an abutting property owned by the West Basin Municipal Water District. The 0.67 acre West Basin Municipal Water District property is not a part of this Specific Plan. The West Basin property has a zoning designation of Public Facilities (P-F) Zone, which allows parking lots as an accessory use.

A. DEVELOPMENT CONCEPT

The Lakes Specific Plan establishes the general type, parameters and character of the development in order to develop an integrated Project area that is also compatible with and complements the surrounding area. The proximity of the Specific Plan Area to freeways, major arterials, and the Metro Rail makes it a regionally accessible and attractive recreation and entertainment facility in an ideal location to facilitate economic development in El Segundo.

The Lakes Specific Plan provides flexibility to modify and modernize existing uses and to add new compatible uses that are not currently permitted with standards that are tailored for the unique uses on the site. The Lakes Specific Plan establishes the following two subareas: Public Recreation/Open Space subarea; and Commercial Recreation/Open Space subarea.

B. LAND USE PLAN

The Lakes Specific Plan is based upon the following subareas (refer to Exhibit 5, *Land Use Plan*):

1. Public Recreation/Open Space (PUB-REC/OS) Subarea

The Public Recreation/Open Space (PUB-REC/OS) subarea of The Lakes Specific Plan is located on the northern parcel fronting onto Pacific Coast Highway, totaling approximately 16.06 acres. The PUB-REC/OS subarea allows for several public recreation uses. The specific recreation uses are limited in this land use category as shown in the Specific Plan's development regulations. The parcel currently contains a 9-hole executive golf course that will remain a permitted use under The Lakes Specific Plan, as shown in the conceptual site plan in Exhibit 6, *Conceptual Site Plan*. Additionally, the Pro Shop and the uses therein will become permitted uses.

In this subarea, a new 2,500 square foot Pro Shop with 1,010 square feet of outdoor patio/dining area will be constructed, which will replace an existing 5,330 square foot Pro Shop and 750 square foot outdoor patio/dining area. The Pro Shop will continue to have retail sales as well as food and alcohol service.

2. Commercial Public Recreation/Open Space (CPR/OS) Subarea

The Commercial Public Recreation/Open Space (CPR/OS) subarea of The Lakes Specific Plan is located on the southern parcel fronting on both Pacific Coast Highway, with a small "L-shaped" portion of the parcel fronting on Hughes Way. The CPR/OS subarea measures approximately 10.48 acres in area, and allows a commercial recreation and entertainment facility, as well as other recreational uses allowed in the Public Recreation/Open Space subarea. A commercial recreation and entertainment facility is defined as a Private Commercial Recreation Facility that is open to the public (see ESMC § 15-1-6 for illustrative examples) that also includes supportive accessory uses as listed in Table VI-1, *Allowable Uses* of this Specific Plan. In this subarea, it is anticipated that a commercial recreation and entertainment facility will be constructed.

3. Conceptual Site Plan

Table III-1, *Conceptual Land Use Summary*, is a breakdown of the anticipated development of the site, implementing the uses and standards of this Specific Plan based upon the lot line adjustment. This summary is for both the Pro Shop on the Public Recreation/Open Space subarea and the commercial recreation golf and entertainment facility on the Commercial Public Recreation/Open Space subarea. The Conceptual Site Plan is shown in Exhibits 6A and 6B.

**Table III-1
Conceptual Land Use Summary**

Land Use	Building Area (Net) (square feet)			Building Area (Gross) (square feet)		
	PUB-REC/OS	CPR/OS	TOTAL	PUB-REC/OS	CPR/OS	TOTAL
New Development						
Circulation	80	3,090	3170	80	3,090	3170
Computer (server storage)	----	225	225	----	225	225
Lobby	520	1,365	1885	520	1,365	1885
Lounge	----	1,895	1,895	----	1,895	1,895
Meeting/Event Space	----	3,144	3,144	----	3,144	3,144
Office	229	2,439	2,668	229	2,439	2,668
Recreation (Hitting Bays)	-----	32,309	32,309	-----	32,309	32,309
Restaurant/Bar	613	9,148	9,761	613	9,148	9,761
Retail	636	----	636	636	----	636
Storage/Maintenance	105	3,631	3,736	105	3,631	3,736
Gross Miscellaneous (Restrooms, Stairs, Elevator, Mechanical Equipment)	----	-----	-----	317	9,048	9,365
Patio	1,010	----	1,010	1,010	----	1,010
Subtotal New Development	3,193	57,246	60,439	3,510	66,294	69,804
Existing Uses to Remain	1,775	----	1,775	1,775	----	1,775
Total Site Development	4,968	57,246	62,214	5,285	66,294	71,579

EXHIBIT 5 LAND USE PLAN



PUBLIC RECREATION/OPEN SPACE (PR/OS)



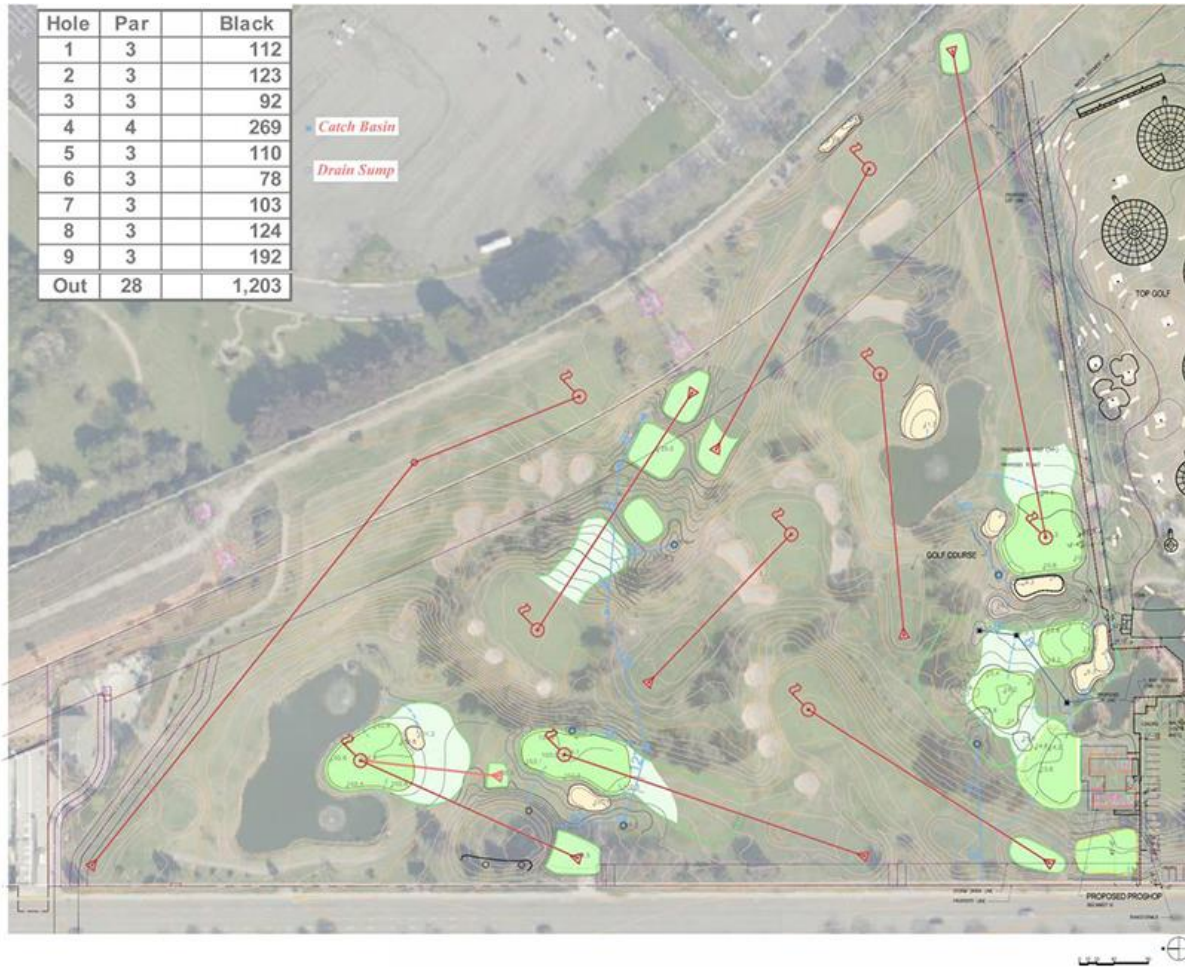
COMMERCIAL RECREATION/OPEN SPACE (CR/OS)

**EXHIBIT 6
CONCEPTUAL SITE PLAN**



-  PRO-SHOP
-  TOPGOLF
-  THE LAKES GOLF COURSE

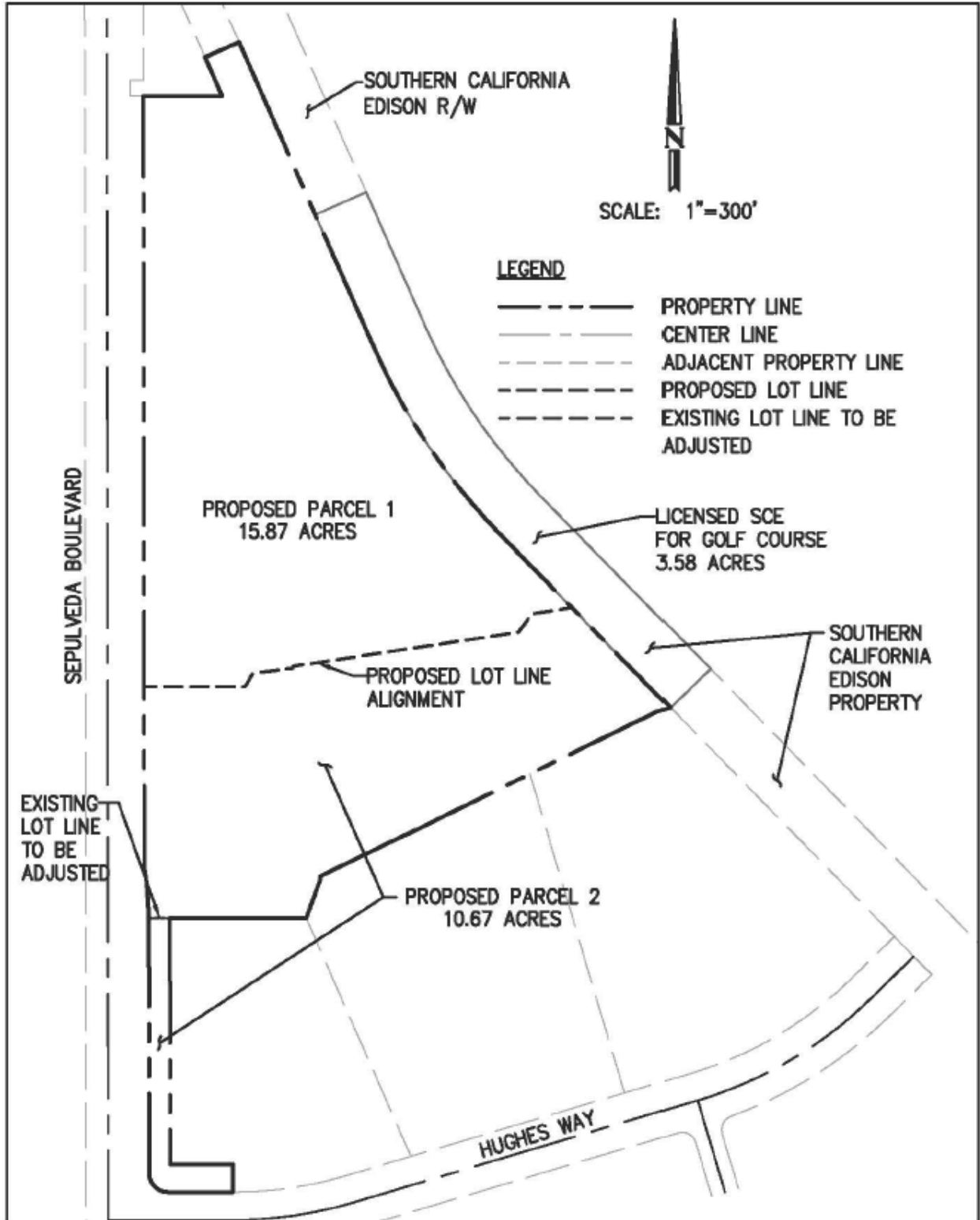
EXHIBIT 6A CONCEPTUAL SITE PLAN – PUBLIC RECREATION/OPEN SPACE SUBAREA



**EXHIBIT 6B
CONCEPTUAL SITE PLAN
COMMERCIAL RECREATION/OPEN SPACE SUBAREA**



**EXHIBIT 7
PROPOSED LOT LINE ADJUSTMENT**



C. PHASING

Construction of the commercial recreation and entertainment facility and parking lot expansion and modifications in the CR/OS subarea, as well as the modifications to the 9-hole municipal golf course and construction of the new Pro shop in the PR/OS subarea will be done concurrently in one phase over a period of 10 months to one year.

D. CIRCULATION

Regionally, the Specific Plan site is accessible from the San Diego freeway (405), Century Freeway (105), the Metro Green Line, and the major arterial Pacific Coast Highway. The Specific Plan site has vehicular access points off of both Pacific Coast Highway and Hughes Way. The Specific Plan will facilitate on-site circulation and parking. Access will be provided for emergency vehicles via the two vehicle access points and the parking lot. Development within the Specific Plan site would be required to provide infrastructure and facilitate access for various modes of travel including automobiles, bicycles, and pedestrians. Pedestrian and handicap access must be provided between buildings and to public sidewalks on the two street frontages along the site.

VEHICULAR CIRCULATION

Pacific Coast Highway. Pacific Coast Highway is an existing public major arterial street that abuts the property on its western edge. No additional right-of-way improvements are required as a result of the development allowed in the Specific Plan. No additional curb cuts besides the one existing curb cut may be allowed along Pacific Coast Highway.

Hughes Way. Hughes Way is an existing public secondary arterial street that abuts the property on its southern edge. No additional curb cuts besides the one existing curb cut may be allowed along Hughes Way.

NON-VEHICULAR CIRCULATION

Walkways will be provided connecting the various components within the Specific Plan area and the public sidewalk on Pacific Coast Highway.

Bicycle parking facilities in the form of a mix of racks and bicycle enclosures in accordance with Municipal Code and California Green Building Code requirements will be provided in multiple locations in the Specific Plan area.

E. GRADING CONCEPT

Site grading includes cut and fill to create building pads and to partially redesign the existing 9-hole municipal golf course. The grading is estimated to result in approximately 5,500 cubic yards of soil export. Final grading plans will be approved by the City Engineer before the City issues a grading permit.

IV. EXISTING UTILITIES AND INFRASTRUCTURE

The following is a summary of existing and proposed public infrastructure for development of the site. All infrastructure will be constructed in accordance with the standards of the governing agency.

A. WATER SERVICE

EXISTING CONDITION

Water utility service is provided by the City of El Segundo and is currently available within the site. Water is purchased through West Basin Municipal Water District which is a member of The Metropolitan Water District of Southern California. The site is currently served by an existing 8-inch ductile iron water pipe that is connected to an existing 10-inch water line under Hughes Way on the south side and connected to an existing 8-inch water line under Pacific Coast Highway on the west side.

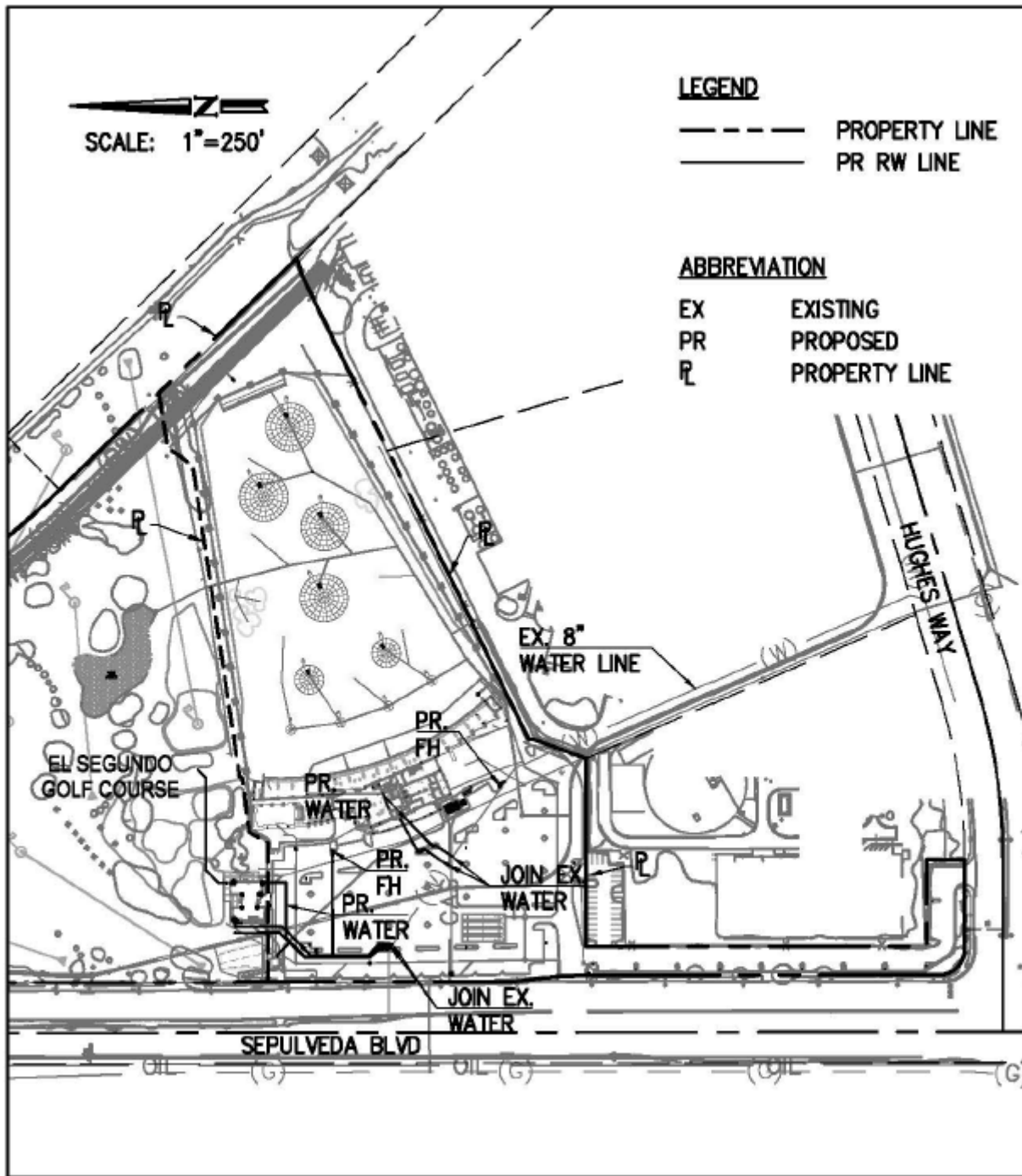
Water for fire suppression is provided by on-site building sprinklers and from two off-site fire hydrants located on Pacific Coast Highway.

PROPOSED CONDITION

Due to proposed grading for the project some portions of the existing 8" water line may require reconstruction to maintain proper depth of the pipe. Two new PVC water laterals will connect the existing 8" ductile iron water line to the proposed commercial recreation and entertainment facility building and the new Pro Shop building to supply water and fire water. Fire flows for the proposed building and new Pro Shop building will be based on County of Los Angeles Fire Department Land Development Unit Standards. A Conceptual Water Utility Plan has been developed for the Specific Plan area (refer to Exhibit 8, *Conceptual Water Plan*).

EXHIBIT 8

CONCEPTUAL WATER PLAN



B. RECLAIMED WATER

EXISTING CONDITION

Reclaimed water utility service is provided by the West Basin Municipal Water District from a treatment plant just south of the site and is already being used for landscaping the site. A current point of connection to the reclaimed water system is located on Hughes Way adjacent to the Southern California Edison property.

PROPOSED CONDITION

Future reclaimed water service is anticipated to be provided through the existing point of connection on Hughes Way. Points of connection will be based on West Basin Municipal Water District's and the City of El Segundo's input. A Conceptual Reclaimed Water Utility Plan has been developed for the Specific Plan area (refer to Exhibit 9, *Conceptual Reclaimed Water Plan*).

C. SEWER SERVICE

EXISTING CONDITION

Sewer utility service is provided by the City of El Segundo and the Sanitation Districts of Los Angeles County and is currently available within the site. The site is currently served by an existing sewer lateral that is connected to a public 8-inch VCP (verified clay pipe) sewer line at the southeast corner of the parking lot and flows southerly through the adjacent parcel and connects to an existing sewer line under Hughes Way.

PROPOSED CONDITION

The existing sewer lateral within the site will be abandoned. Two new laterals will be constructed to serve the proposed commercial recreation and entertainment building and the new Pro Shop building. Each will be connected to a new 8-inch sewer line that will extend from the terminus of the existing 8-inch public line at the southeast corner of the parking lot across the main drive aisle of the parking lot. A conceptual sewer plan has been developed for the Specific Plan area (refer to Exhibit 10, *Conceptual Sewer Plan*).

EXHIBIT 9 CONCEPTUAL RECLAIMED WATER PLAN

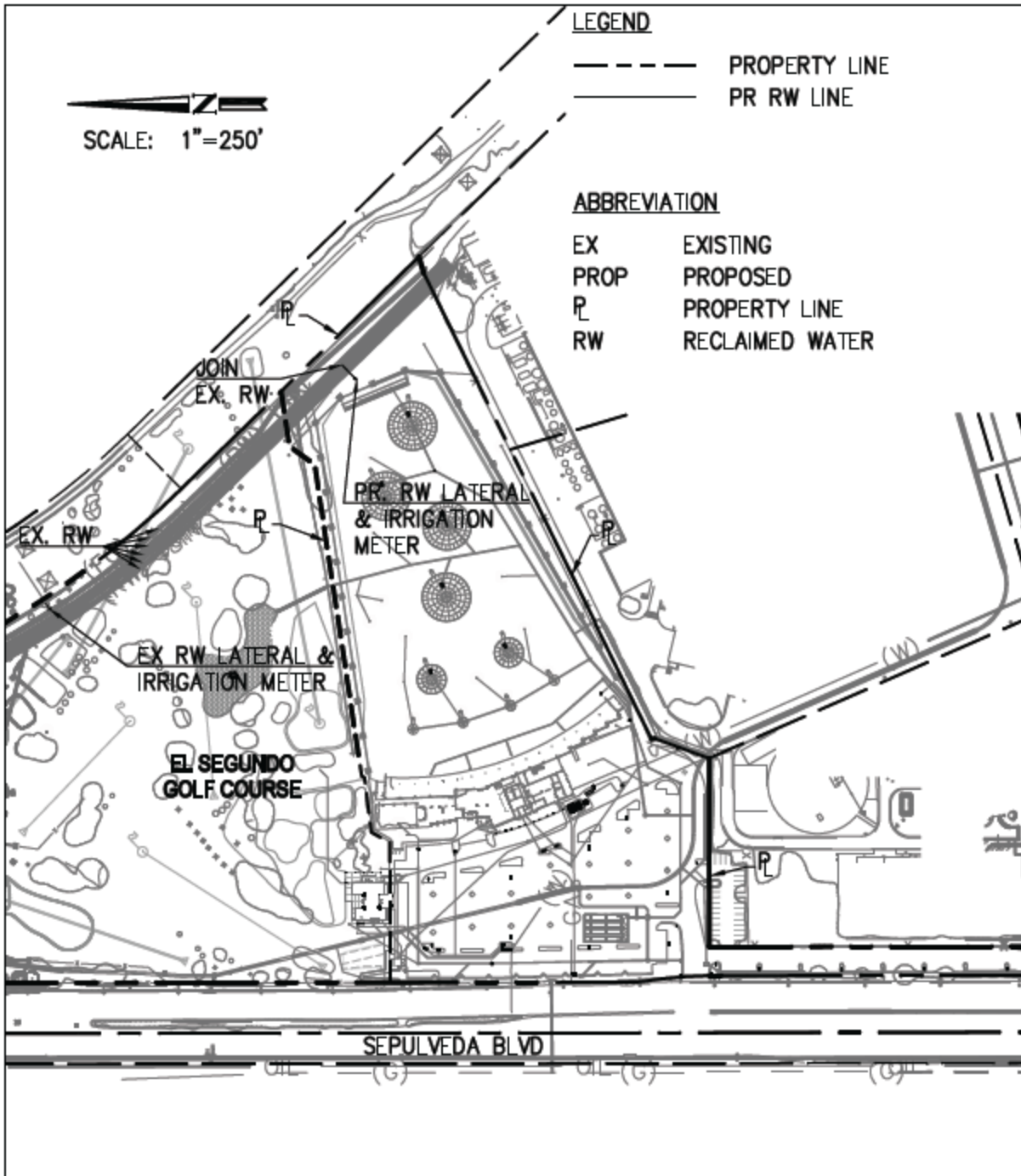
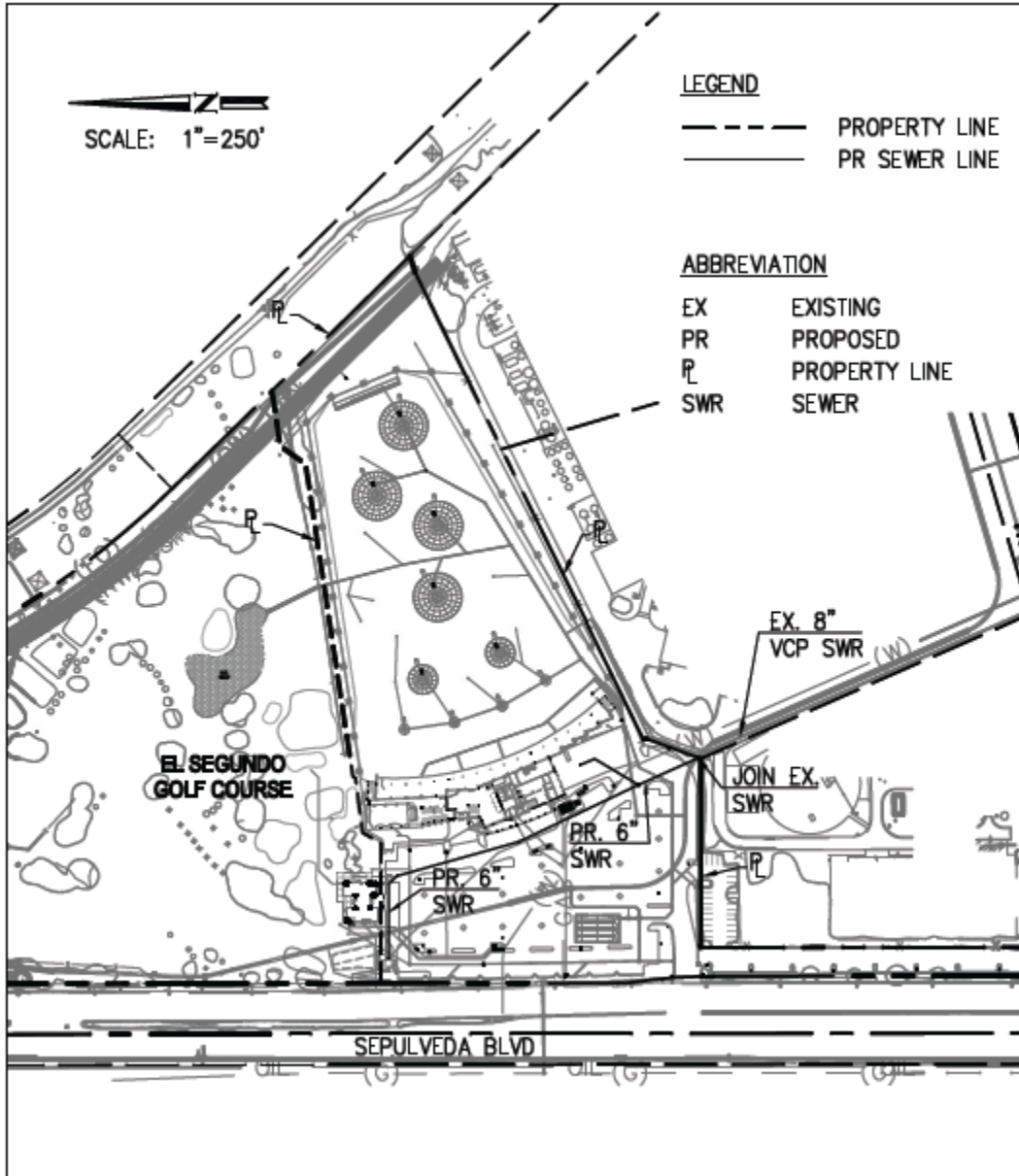


EXHIBIT 10 CONCEPTUAL SEWER PLAN



D. DRAINAGE

EXISTING CONDITION

The existing storm drains collect the storm water from the site and discharge into the existing public 48-inch RCP (reinforced concrete pipe) that runs along Pacific Coast Highway, then along the south side of the site and turns east under Hughes Way to discharge into an existing City of El Segundo detention and infiltration basin southeast of the site.

Federal Emergency Management Agency (FEMA) map #06037C1770F shows this Project site is located within Zone X, which is described to be an area determined to be outside of the 0.2% annual chance floodplain. There are no Special Flood Hazards on-site.

PROPOSED CONDITION

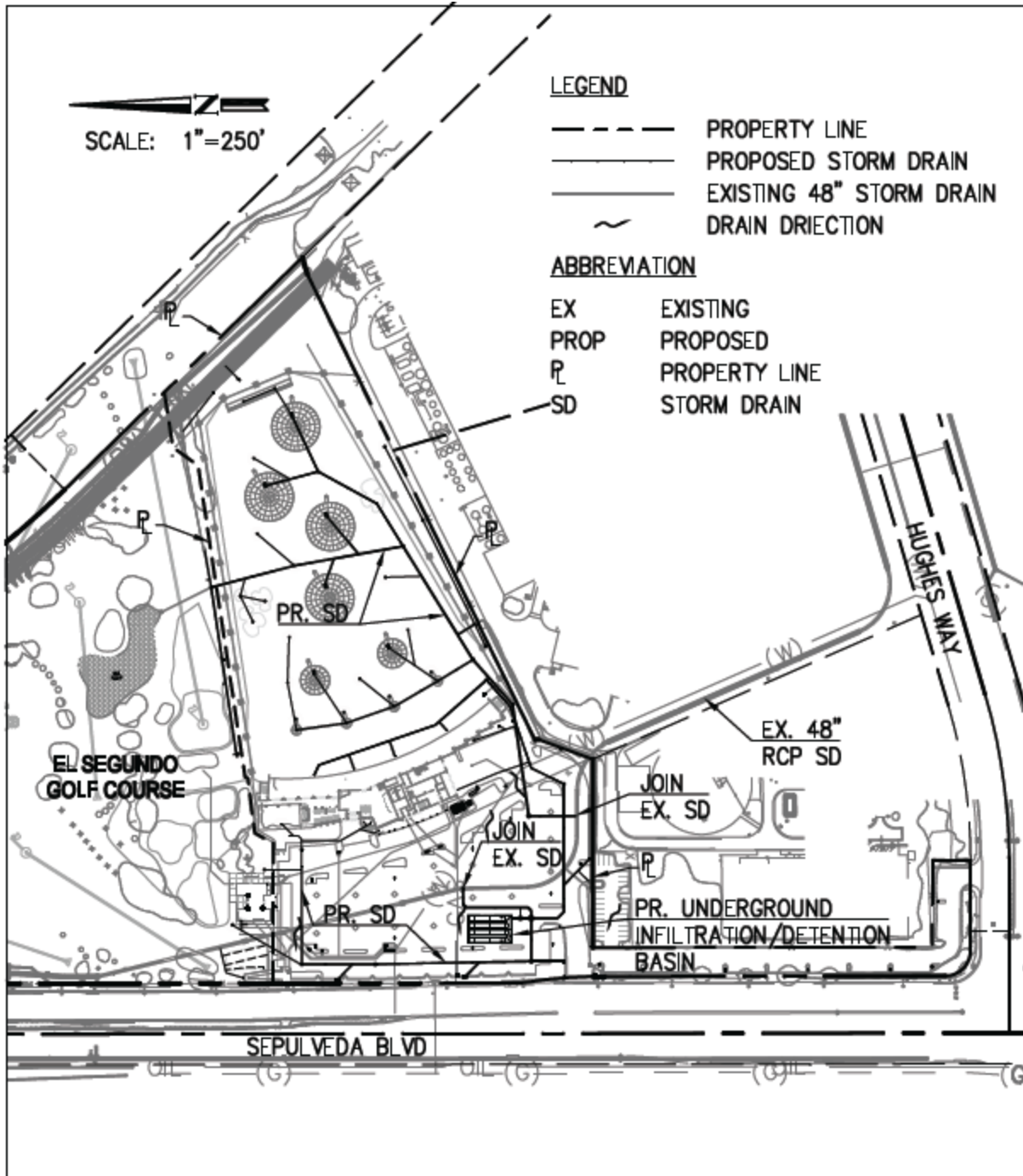
A storm drain system is proposed for the new driving range and another system for the new buildings and parking area. The two systems will confluence at the south side of the proposed parking area and discharge into a proposed underground detention and infiltration system to be constructed under the parking lot. The detention system will discharge into the existing 48-inch RCP storm drain pipe at the south side of the site.

Storm Water Quality

The proposed detention/infiltration system will also function as a treatment system designed to remove or reduce pollutants of concern from the storm water before discharge from the site. The collected storm water will be pre-treated to remove trash and larger sediment particulates before entering the underground infiltration/detention storage system. The storm water quality design will be consistent with applicable Low Impact Development (LID) standards, which includes storage and infiltrate into the soil system within 48 hours. Drainage must comply with all applicable laws and regulations, including without limitation, the City's National Pollution Discharge Elimination System (NPDES) Permit.

A Conceptual Drainage Plan has been developed for the Specific Plan area (refer to Exhibit 11, *Conceptual Drainage Plan*).

EXHIBIT 11 CONCEPTUAL DRAINAGE PLAN



E. GAS

EXISTING CONDITION

Natural gas service is provided by Southern California Gas Company and is currently available within the site.

PROPOSED CONDITION

The existing gas service will be abandoned by Southern California Gas Company and the future natural gas service will be provided through a public main line in Pacific Coast Highway and the site will be serviced by a private gas service line secured by an easement granted to Southern California Gas Company for access and maintenance.

A conceptual plan has been developed for the Specific Plan area (refer to Exhibit 12, *Conceptual Electric, Gas & Telecommunication Plan*).

F. ELECTRIC

EXISTING CONDITION

Electric power is provided by Southern California Edison to the Specific Plan area through an underground utility conduit system.

PROPOSED CONDITION

A new underground utility conduit system within the site parking lot shall intercept the existing underground electric system and provide electrical power to the proposed improvements. An easement will be granted to Southern California Edison for access and maintenance. Final locations and points of connection for the electrical system will be based on a final approved Southern California Edison design. A conceptual plan has been developed for the Specific Plan area (refer to Exhibit 12, *Conceptual Electric, Gas & Telecommunication Plan*).

G. TELECOMMUNICATIONS UTILITIES

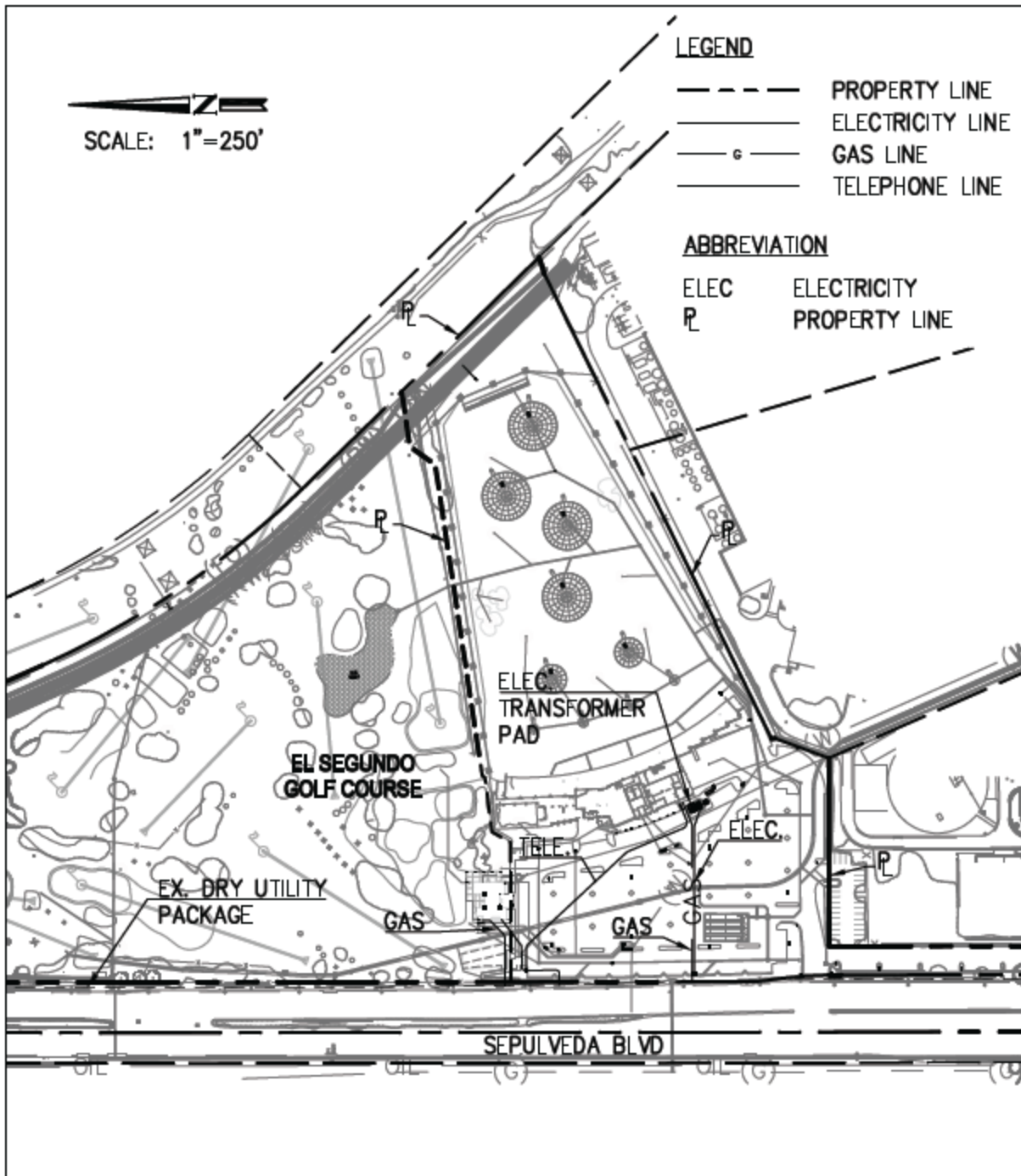
EXISTING CONDITION

Cable and telecommunication service is provided by Cox Communications (Cable TV) and Frontier Communications (Telephone) and is currently available through an underground dry utility system in Pacific Coast Highway.

PROPOSED CONDITION

A new underground utility conduit system within the site parking lot will intercept the existing underground telecommunications system and provide services to the proposed buildings. An easement will be granted to the telecommunication companies for access and maintenance. Final

**EXHIBIT 12
CONCEPTUAL ELECTRIC, GAS & TELECOMMUNICATION PLAN**



locations and points of connection for the telecommunications system will be based on a final approved design of the communications company. A conceptual plan has been developed for the Specific Plan area (refer to Exhibit 12, *Conceptual Electric, Gas & Telecommunication Plan*).

H. SOLID WASTE DISPOSAL

EXISTING CONDITION

Solid waste disposal is provided to recreational and commercial users by a variety of private haulers.

FUTURE CONDITION

Development within the Specific Plan area would contract with a provider. Landfill capacity is adequate for assumed population and commercial growth within Los Angeles County. Solid waste facilities within the Specific Plan area will comply with all ESMC requirements pertaining to building, fire, and zoning codes (e.g., adequate trash enclosures and screening).

I. FIRE PROTECTION

EXISTING CONDITION

The Specific Plan area is less than one mile from Fire Station 2, located at Mariposa Avenue and Douglas Street. The provision of water for fire suppression is provided by on-site building sprinklers and from 2 off-site fire hydrants located on Pacific Coast Highway.

FUTURE CONDITION

Buildings will be sprinklered as required by the ESMC. Development will be required to pay fire impact fees to off-set the additional demand for municipal fire protection services as a result of the new development. If required, new fire hydrants will be provided in accordance with the El Segundo Fire Department.

J. POLICE SERVICES

EXISTING CONDITION

Police services are provided by the El Segundo Police Department which is located at 348 Main Street.

FUTURE CONDITION

Development will be required to pay police impact fees to off-set the additional demand for municipal police services as a result of the new development.

V. DESIGN GUIDELINES

These design guidelines are intended as “guidelines” instead of “development regulations.” During the review of any project proposed in this Specific Plan area, the Director of Planning and Building Safety, the Planning Commission and City Council may use discretion in applying these design guidelines. It is not anticipated that each guideline will apply equally to every project. One or more guidelines may have more design significance than another, depending on the nature of the proposed project. Consequently, strict compliance is not required. The overall objective is to establish criteria that enhance the coordination, organization, function and identity of the site, while maintaining a compatible relationship with the surrounding development of The Lakes Specific Plan.

A. DESIGN OBJECTIVES AND INTENT

Design guidelines for the Lakes Specific Plan will promote and reinforce the City’s commitment to high-quality development. The objectives of these guidelines are to:

- Provide for high-quality recreational development within the Specific Plan area.
- Promote orderly and predictable development.
- Encourage individual creativity and innovative solutions by allowing flexibility in how a particular guideline is met as long as the intent of the guideline is achieved.
- Ensure functional pedestrian, bicycle and motor vehicle circulation within the Project and convenient pedestrian and bicycle linkages to and from adjacent residential, commercial and industrial areas.

1. Site Planning

- a. The arrangement of new buildings, parking and circulation areas should recognize the particular characteristics of the site and should create a cohesive identity.
- b. Site development should utilize variations on building orientation and landscaping adjacent to the public streets so that a monolithic “wall” of building faces is not created.
- c. The design and location of accessory buildings (e.g., maintenance and storage buildings, trash and recycling enclosures, and outdoor mechanical equipment enclosures) should be incorporated into and be compatible with the overall design of the Project and the main buildings on the site.

- d. Appropriate linkages between internal Project components and buildings should be incorporated, including pedestrian walkways.
- e. Buildings should be arranged to create opportunities for outdoor amenities (e.g., plazas, courtyards, outdoor eating areas, etc.) where appropriate.
- f. Pedestrian walkways within the project shall be provided with admixture colored concrete and/or design that enhance and complement the project.

2. Access and Parking

- a. A single entry driveway for shared vehicular use must be maintained on each public street frontage (one on Pacific Coast Highway and one on Hughes Way).
- b. Entry driveway areas should be clearly marked by identifying features, (e.g., prominent landscape features and well-designed monument-type signs).
- c. Access to each building should be clearly visible to pedestrians and motorists through the use of signage, color, and/or design elements.
- d. Surface parking lots adjacent to and visible from public streets should incorporate landscaping to minimize undesirable visual impacts.
- e. Surface parking areas should be enhanced and visually broken up through the use of appropriate trees and landscape improvements.
- f. Surface parking areas should include canopy trees spaced appropriately throughout the parking area to reduce the effects of heat gain.
- g. Parking lot design is encouraged to include water quality storm water facilities consistent with City standards and a Water Quality Management Plan.

3. Architecture/Orientation/Massing

- a. The massing, scale and architectural style should consider compatibility with the surrounding character and existing buildings to reflect a cohesive project area character.
- b. The orientation of the newly constructed buildings should facilitate and encourage pedestrian activities.
- c. The mass and scale of new buildings should be compatible with the existing and adjacent structures and with each other. This can be accomplished by transitioning from the height of adjacent buildings to the tallest elements of the new building, stepping back the upper portions of taller buildings, and incorporating human scale elements, such as pedestrian scaled doors, windows, and building materials on the ground floor.
- d. Buildings should be divided into distinct massing elements and should be articulated with architectural elements and details. Changes in height, horizontal plane, materials, patterns and colors should be used to reduce building scale and mass.
- e. Primary building entries should be easily identified through the use of prominent architectural elements, signage, landscaping, decorative hardscape, lighting, canopies, roof form, architectural projections, columns, vertical and/or horizontal elements, and other design features that help emphasize a building's entry.
- f. Building elevations, whether front, side, or rear, that are visible from public rights-of-way should be architecturally detailed to incorporate quality materials and architectural features that reflect the theme of surrounding structures and facades. Building entrances should be readily identifiable. The use of recesses, projections, columns, and other design elements to articulate entrances is encouraged.
- g. Facades should be 'divided' by vertical and horizontal variations in wall planes, building projections, door and window bays, and similar elements. Building articulation should be present on the side and rear walls of the building, unless it is not visible to the public.
- h. The exterior surfaces of buildings for the ground floor must be protected with anti-graffiti coating where appropriate.

4. Color and Materials

- a. Colors and materials should be consistent and complementary throughout the Project area.

- b. Exterior materials and architectural details should complement each other and should be stylistically consistent.
- c. Building materials must be durable and resistant to damage, defacing, and general wear and tear. Acceptable building materials may include concrete, fiber cement siding, stone masonry, metal, stucco, glass and/or other contemporary composites.
- d. Building materials that support sustainability through the use of environmentally sound building materials and local resources (e.g., locally available, contain high recycled-content, are reused, come from renewable sources, and that contain low volatile organic compound (VOC) levels) is highly encouraged.

5. Screening and Mechanical Equipment

- a. All screening devices must be compatible with the architecture, materials and colors of the building.
- b. Loading docks, bays and parking spaces, delivery service areas, outdoor storage areas, stand-alone mechanical equipment facilities, should be located and designed to minimize their visibility, circulation conflicts and adverse noise impacts. These facilities must be oriented so that they do not face any public rights-of-way or are screened from view. Sound attenuation walls must be used where appropriate to reduce noise where required by code or the Project's environmental analysis.
- c. Utility and mechanical equipment must be screened from view of public streets and nearby buildings on all sides with landscaping and/or architectural elements.
- d. Rooftop mounted equipment visible from the surrounding area, adjacent buildings, and any public rights-of-way must be screened from public view and equipment should be painted to match the roof color when equipment is visible.

- e. Trash and recycling receptacles areas must be completely screened from public view from public rights-of-way with solid walls, wood, and/or landscaping.
- f. Ground mounted enclosures must be protected with anti-graffiti coating.



Trash enclosures with architectural screening elements

6. Landscaping

A Landscape Master Plan for the Specific Plan area must be provided to the City to provide for a unified concept within the Specific Plan area prior to the issuance of the first building permit.

General

- a. All areas not covered by buildings, walkways, driveways, parking spaces, and service areas must be landscaped (with drought tolerant plantings and sustainable hardscapes in accordance with the City's water conservation requirements).
- b. Landscaping should enhance the quality of the Project by framing and softening the appearance of buildings, defining site functions, screening undesirable views and buffering incompatible uses.
- c. Landscaping at the perimeter of buildings is encouraged to soften the transition between building and parking lot. Parking lot landscaping must be distributed evenly to provide for consistent design and shading.
- d. Landscaped areas should generally incorporate a combination of planting materials utilizing a three tiered system consisting of: 1) trees, 2) shrubs or vines, 3) groundcover/ornamental grasses. Landscaping should be in scale with the adjacent buildings and be of appropriate size at maturity.
- e. Placement of landscaping should not interfere with the lighting of the Project area or restrict access to utilities.
- f. Landscaping should be utilized to define edges, buffer adjacent properties, screen parking areas and storage areas.
- g. In order to reduce the heat-island effect, space parking lot trees to achieve shading at ratios required by the development regulations of this Specific Plan. Trees must adequately shade parking lots and provide sufficient area for water quality requirements.

- h. Paving materials should include pervious hardscape materials to facilitate water treatment and reduce runoff.
- i. Bio-retention areas can be used to detain/percolate run-off in planted swales, raised open-bottomed planters, etc.



On-site storm water capture system

- j. Site furnishings including, but not limited to, fixed and moveable seating, trash and recycling receptacles, bike racks, and pedestrian scaled lighting should be of durable and sustainable materials.
- k. Design and selection of site furniture should include considerations for the security, safety, comfort and convenience of the user.

8. Walls and Fences

- a. Wall and fence design should complement the Project's architecture. Landscaping may be used to soften the appearance of the wall surface.
- b. Wall and fencing materials must be made of a durable material. Wall and fencing materials may consist of wrought iron, tubular steel, stone, stucco, or brick. Solid walls should incorporate pilasters with decorative caps and offsets, consistent with the overall architecture.
- c. Landscaping should be used to soften the appearance of the wall surfaces and deter graffiti.
- d. Fencing for safety and security of the golf course and the outdoor target area at the commercial recreation and entertainment facility may utilize netting and/or chain link if approved in the site plan review process. Chain link fencing is not permitted in the public parking lot that is visible from any public rights-of-way.
- e. Razor wire is not permitted.
- f. Walls and fences must be protected with anti-graffiti coating.

9. Lighting Design

- a. Pedestrian scale lighting should be present at all entries, plazas, courtyards, parking lots, pedestrian ways, and other areas where nighttime pedestrian activity is expected.
- b. Lighting design of fixtures and their structural support should be architecturally compatible with the architecture of the Project.
- c. When appropriate, wall-mounted lighting may be incorporated. Wall-mounted lights should be compatible with the building's architectural style.

10. Signage

- a. Unless specifically modified by this Specific Plan, all signage must comply with ESMC requirements.
- b. Billboards, pole signs, and signs incorporating flashing or blinking lights are not permitted within this Specific Plan area.
- c. The character of the signage, including the location, size, height, design and lighting must be in keeping with the architectural character and monument style of the overall Project.
- d. Signs should make a positive contribution to the desired character of the Project and provide for clear identification and wayfinding.
- e. Vehicle, bicycle, and pedestrian circulation throughout the Project site to parking and various destinations should be enhanced through a comprehensive system of directional signage and related wayfinding elements.

VI. DEVELOPMENT STANDARDS

Upon adoption of The Lakes Specific Plan, the development standards and procedures established herein become the governing zoning standards for land uses within The Lakes Specific Plan area, as specified for each subarea. In accordance with the requirements of the El Segundo Municipal Code, the development standards and use restrictions throughout the City shall govern the development, use and operation of the properties within The Lakes Specific Plan area, except as otherwise provided in The Lakes Specific Plan. In the case of a conflict between the applicable rules governing new development in the El Segundo Municipal Code and the spirit, intent or requirements of The Lakes Specific Plan, this Specific Plan shall govern. Where the Specific Plan is silent, the El Segundo Municipal Code shall apply.

A. PERMITTED USES

Table VI-1 (Allowable Uses) provides a listing of those uses which are permitted by right, are subject to Conditional Use Permit review, are subject to an Administrative Use Permit review, are permitted as an accessory use, and prohibited within the two subareas of this Specific Plan. The two subareas are the Public Recreation/Open Space (PUB-REC/OS) subarea and the Commercial Public Recreation/Open Space (CPR/OS) subarea. Uses not shown as Permitted, Conditionally Permitted, approval of an Administrative Use Permit, or Accessory are prohibited, unless the Planning and Building Safety Director makes a determination that a proposed use while not listed in the following table closely corresponds to a listed use which is permitted by right, as an accessory use to a permitted or conditionally permitted use, or which is permitted subject to the granting of a discretionary permit.

**Table VI-1
Allowable Uses**

Use	PUB-REC/OS	CPR/OS
Cafes	A	A
Comfort Stations	A	A
Commercial golf entertainment facility	-	P
Concession Stands	A	A
Conference room/Event space	A	A
Entertainment, including live entertainment	-	A
General Offices	A	A
General Storage	A	A
Golf Courses (including driving range)	P	P
Maintenance Buildings/Facilities	A	A
On-site sale and consumption of alcohol at restaurants and cafes	C	C
On-site sale and consumption of alcohol at bars	-	C
Outdoor Dining	A	A

Parking structures and surface parking lots	A	A
Parks	P	P
Recreational or multipurpose recreational building in conjunction with park and/or playground facilities	C	C
Recreational Facilities (Public, Outdoor as defined in ESMC 15-1-6)	P	P
Recreational Facilities (Private/Commercial as defined in ESMC 15-1-6) (except commercial golf entertainment facility)	C	C
Restaurants, full service	A	A
Restaurants, fast food	A	A
Retail uses (excluding off site sale alcohol sales)	A	A
Utility Facilities	C	C
Video arcade machines	A	A
Wireless Communications Facilities (Pursuant to ESMC Chapter 15-19)	AUP, C	AUP, C
Any use customarily incidental to a permitted use	A	A
All uses that are not permitted, conditionally permitted or determined to be similar uses as specified above.	-	-
AUP Administrative Use Permit A Permitted Accessory Use C Conditional Use P Permitted Use -- Not Permitted		

B. DEVELOPMENT STANDARDS

1. Lot Area

- a. The minimum lot area is 10 acres.

2. Height

- a. Buildings and structures within the PR/OS subarea cannot exceed 26 feet in overall height, as measured from the lowest finished grade covered by the building or structure.
- b. Buildings and structures within the CR/OS subarea cannot exceed 65 feet in overall height, as measured from lowest finished grade covered by the building or structure.
- c. Exceptions to building height are permitted in accordance with ESMC §15-2-3.
- d. In both subareas, a maximum of 175 feet in overall height measured from

lowest finished grade is permitted for safety fences and netting and their associated support posts located on or adjacent to property lines as approved by site plan review.

3. Setbacks

- a. **Front Setback:** In both subareas, buildings and structures must maintain a minimum setback of twenty-five feet (25') from the property lines along Pacific Coast Highway and Hughes Way. Visually permeable fences, safety netting and associated support poles may be located in the setback area, including on property lines as approved by site plan review
- b. **Side Setback:** In both subareas, buildings and structures must maintain a minimum setback of five feet (5') from each side lot line. (Additional setbacks may be required depending on Building Code requirements that relate to type and height of the structure). Fences, walls, safety netting and associated support poles may be located in the setback area, including on property lines as approved by site plan review.
- c. **Rear Setback:** In both subareas, buildings and structures must maintain a minimum setback of five feet (5') from each rear lot line. (Additional setbacks may be required depending on Building Code requirements that relate to type and height of the structure). Fences, walls, safety netting and associated support poles may be located in the setback area, including on property lines as approved by site plan review.
- d. "Architectural landscape features" including fountains, water features and waterfalls, free-standing arbors/ pergolas, and similar features as determined by the Director of Planning and Building Safety, may encroach into the front, side and rear yard setback areas subject to site plan review, provided a minimum landscaped setback of three feet is maintained. The features may cover a maximum of twenty five percent of the total area of the setback, and be a maximum of twenty feet in height.
- e. Exceptions to setback requirements are permitted subject to the requirements of ESMC § 15-2-7 Open Space Areas and Encroachments, and as permitted in Sections VI(D) and VI(E) of this Specific Plan.

4. Lot Frontage

- a. A minimum of 100 feet of frontage on a dedicated public street must be provided for all lots.

5. Lot Coverage and Floor Area

- a. Buildings and structures within the PR/OS subarea shall not cover more

than forty percent (40%) of the lot area.

- b. The cumulative total size of all buildings and structures within the CR/OS subarea shall not exceed a floor area 0.147.
- c. The Director of Planning and Building Safety has the authority to administratively allow an adjustment between the net square footage of listed land uses in each subarea set forth in Table III-1, provided that no adjustment results in a single land use increasing by more than ten percent (10%) and provided that, appropriate evidence is submitted substantiating that the increase will not result in a significant impact as determined by the Director.

6. Walls and Fences

- a. All walls and fences must comply with ESMC § 15-2-4 except as otherwise specified in Section VI(B)(2)(d) of this Specific Plan.

7. Lighting

- a. Lighting fixtures shall not exceed 65 feet in height, as measured from adjacent grade to the top of the fixture.
- b. All lighting must prevent direct glare and spillover on to adjacent properties.

8. Ancillary Structures

- a. Trash and recycling enclosures, outdoor storage areas, mechanical equipment enclosures, transformers and similar structures are permitted subject to the screening requirements contained in ESMC § 15-2-8 and the Design Guidelines in Section V.A(5) of this Specific Plan.

C. CIRCULATION

- 1. Transportation Demand Management (TDM) Plan, that identifies trip reduction methods in accordance with the guidelines set forth in ESMC Chapter 15-16 and Chapter 15-17, must be prepared for development within The Lakes Specific Plan area. A TDM Plan must be submitted for City review prior to issuance of a building permit.
- 2. Public streets must be designed and constructed in accordance with the General Plan and in the overall right-of-way size identified in the Street Classification and Standards (Exhibit C-8) in the Circulation Element of the General Plan or as exempted subject to the regulations in ESMC Chapter 15-24A Right of Way

Dedications and Improvements. No public or private streets are located within the Specific Plan area. This Specific Plan does not involve the extension or expansion of any right-of-way of the public streets adjoining the Specific Plan area which include Pacific Coast Highway (a major arterial street that is a Caltrans owned State Highway Facility) and Hughes Way (a secondary arterial street).

D. PARKING AND LOADING

1. Parking and loading spaces must be provided in accordance with ESMC Chapter 15-15, except as provided below:
 - a. The number of required parking spaces will be determined based upon review and approval of a Parking Demand Study subject to the criteria required in ESMC Chapter 15-15.
 - b. The number of required parking spaces may be modified subject to the approval of a Transportation Systems Management Plan, as specified in the ESMC Chapter 15-16 “Developer Transportation Demand Management.”
 - c. Off-site parking is permitted in areas east of Pacific Coast Highway. The parking must be located within 1,000 feet of the boundary of The Lakes Specific Plan area unless otherwise approved by the City Council. A written agreement must be executed by all parties concerned, to the satisfaction of the Director of Planning and Building Safety and the City Attorney assuring the continued availability of the number of stalls located off-site. Reciprocal access easements or covenants must be recorded for contiguous lots before issuance of a building permit and must be shown or noted on the applicable site plans.
 - d. Parking lots and driveways may straddle lot lines subject to the provisions contained in a reciprocal parking and access easement or covenant. Driveways that connect parking lots with a right-of-way may encroach into a required landscape setback on interior and/or rear property lines. Such documents must include provisions for maintenance.
2. Required parking stalls may encroach into the required setbacks (specified in Section VI(B)(3) of the Lakes Specific Plan), provided that a minimum 3-foot landscaped buffer is provided and maintained between the property lines and the paved portions of the parking stalls.
3. Preferential parking must be provided for carpools and vanpools.
4. Bicycle parking must comply with ESMC Chapters 15-15 and 15-16 and the Green Building Code.

E. LANDSCAPING

This section will ensure that adequate landscaping area and permanent maintenance is provided for the development. This mandate is also in accordance with the City's requirements to landscape commercial and recreational areas.

Landscaped areas must be provided and permanent irrigation systems installed in the landscaped areas at: 1) around the perimeter of the buildings in the setbacks, 3) within the required setbacks along the property perimeter and, 4) in the Vehicular Use Areas (VUAs) as defined in ESMC §15-1-6.

A Landscape Master Plan must be prepared for The Lakes Specific Plan area to ensure a unified appearance implementing the intent of the Design Guidelines and objectives of this Specific Plan. The Landscape Master Plan must be submitted to the City prior to approval of the first site plan review within the Specific Plan area.

ALL LANDSCAPING

1. Landscaping must conform to the City's Water Conservation in Landscaping requirements as set forth in ESMC 15-15A.

BUILDING PERIMETER LANDSCAPING

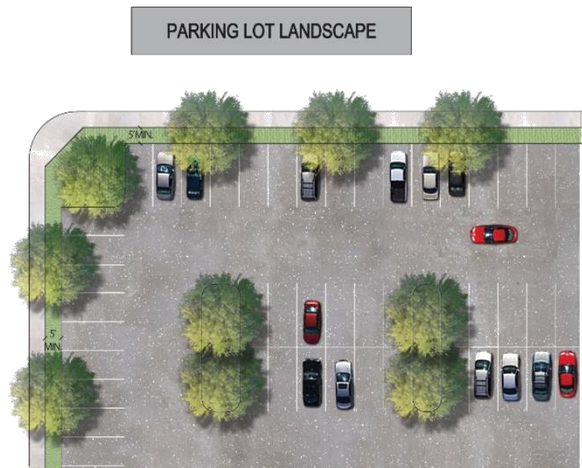
1. Except as otherwise allowed by this Plan, a minimum horizontal depth of five feet of landscape materials, excluding curbs, must be provided around each building except for entrances to buildings and any other required paved areas. In instances where two buildings are separated by ten feet, the landscape requirement may be reduced to allow for pedestrian walkways/access.

PROPERTY PERIMETER LANDSCAPING

1. An average of one shade tree must be provided for every 25 feet of street frontage adjacent to parking lot areas.
2. There shall be a minimum landscaped perimeter of three feet along Pacific Coast Highway and Hughes Way.

VEHICULAR USE AREAS

1. Vehicular Use Areas (VUA) include parking lots and loading areas. Landscaping in the VUAs must cover a minimum of five percent of the VUA and be distributed uniformly throughout the VUA. Such landscaping is in addition to the required property perimeter and building perimeter landscaping. The figure to the right represents a typical parking area within the Specific Plan.
 - a. A minimum of a three foot landscape buffer must be provided at all parking lot edges to screen parking lots and provide shading.
 - b. Planting areas containing trees must have a minimum width of five feet except for existing planting areas along the property perimeter abutting Pacific Coast Highway and Hughes Way where the minimum width may be three feet. Trees are required to provide shade.



F. PUBLIC SAFETY

In an effort to ensure the safety of employees and visitors to The Lakes Specific Plan area, the following strategies must be incorporated into site development:

1. Lighting must be adequate throughout the Specific Plan area and shielded to minimize off-site illumination. Submittal of photometric studies is required as part of any site plan review submittal which includes parking lots, and parking structures in the Specific Plan area.
2. The site design and operation must comply with fire and police safety regulations with regard to site layout, building configurations, landscape design, and infrastructure requirements.
3. Street lighting must be provided in accordance with ESMC requirements.

G. SIGNAGE

1. Signage within The Lakes Specific Plan area must conform to the signage

regulations of the ESMC except as established and approved in a Master Sign Program for the Specific Plan.

2. The following signs are not permitted within the Specific Plan area:
 - Billboards, as defined in the ESMC; and
 - Pole signs; and
 - Signs incorporating flashing or blinking lights.
3. A Master Sign Program for the Specific Plan area must be developed and submitted for review and approval by the Planning Commission prior to installation of signs within the Specific Plan areas. The Master Sign Program must include the following elements:
 - Master signage (entryways, common sign design throughout the Specific Plan area);
 - Sign standards developed for the uses allowed under the Specific Plan;
 - Provisions for way finding and decorative elements such as banners;
 - General features that all signs are required to comply with; and
 - Regulations for temporary signs (including construction signs).

H. SUSTAINABILITY

1. All new development must have buildings designed to be energy efficient to meet or exceed Title 24 requirements.
2. Parking lot areas must include Stormwater management practices that treat Stormwater runoff from 90% of the average rainfall on the site using structural and non-structural management measures.
3. Bicycle parking must comply with the ESMC and Green Building Code.
4. Exterior lighting must be energy efficient and designed to minimize light pollution.
5. Low-emitting building materials must be utilized.
6. Reclaimed water must be utilized for all landscaped areas if available and feasible.

I. ENCLOSED USES

All uses must be conducted wholly within an enclosed building or structure except for the following:

1. Mechanical equipment provided it complies with the requirements of ESMC § 15-2-8.
2. Outdoor restaurants and cafes incidental to the permitted use, provided they comply with the provisions of ESMC §15-2-16.
3. Recreational facilities customarily conducted in the open.
4. Wireless communications facilities (including antennas, and dishes) provided they comply with the requirements of ESMC Chapter 15-19.
5. Entertainment, provided it complies with the requirements and standards contained in ESMC Chapter 7-2.
6. Other ancillary uses as determined by the Director of Planning and Building Safety.

VII. ADMINISTRATION

A. INTRODUCTION

Unless regulated by this Specific Plan, development will be administered and enforced by the City in accordance with the ESMC. This Specific Plan supersedes any conflicting ESMC zoning regulation.

1. The Director of Planning and Building Safety may grant administrative use permits in accordance with ESMC Chapter 15-22.
2. The Director of Planning and Building Safety may make other administrative determinations using the same procedures set forth in ESMC Chapter 15-22.
3. The Director of Planning and Building Safety may grant adjustments and administrative adjustments in accordance with ESMC Chapter 15-24.
4. The Planning Commission may grant conditional use permits in accordance with ESMC Chapter 15-23.

B. MUNICIPAL CODE REFERENCES

All section references in the Specific Plan refer to the El Segundo Municipal Code (ESMC) as adopted at the time of building permit application submittal.

C. MODIFICATIONS

1. Major Modifications

Any proposed modifications or changes to this document that would substantially alter the requirements contained in this document shall require an amendment to The Lakes Specific Plan. Major Modifications requiring an amendment to this Specific Plan include, without limitation:

- a. Any decrease in the required building setbacks as set forth in Section VI.B.3 above;
- b. Any increase in the total developable square footage of the entire Specific Plan in excess of the maximum allowed under the Specific Plan;
- c. Any increase in height of buildings or structures on the Property above the limits set forth in the Specific Plan except for fencing and associated posts for the municipal golf course and other safety netting in the side yards and rear yards as allowed in this Specific Plan;

- d. Any change to a use which is not permitted under the Specific Plan, except as approved by the Director in accordance with Chapter 15-22 of the ESMC;
- e. Any change in the land use plan categories identified in Exhibit 5 of this plan;
- f. Any decrease in the minimum required lot area;
- g. Any decrease in the minimum required lot frontage;
- h. Any material modification that requires modification to the EIR other than an Addendum; and
- i. Any modification determined by the Director of Planning and Building Safety as a major modification and requiring amendment to this Specific Plan.

2. Minor Modifications

Any modification to this Specific Plan not listed above as a “major modification,” including a use approved subject to an Administrative Use Permit, is a Minor Modification. Upon the administrative approval of the Director of Planning and Building Safety or designee, Minor Modifications to this Specific Plan may be made, provided that such modifications are consistent with the Development and Design Standards, Applicable Rules, and Project Approvals. Such Minor Modifications may include, without limitation:

- Adjustments, Administrative Adjustments, Administrative Determinations subject to the requirements in Section VII.A, above.
- Modifications to the conceptual infrastructure plans

D. SITE PLAN REVIEW

1. Overview

A Site Plan Review (“SPR”) is required for any development proposed in the Specific Plan area and an application shall be filed with the Department of Planning and Building Safety.

2. Application for Site Plan Review - Contents

The Site Plan Review Application must conform to the following. The number of copies required for submittal will be determined by City policy at time of submittal:

- a. Plans and landscape plans for projects must be prepared by a registered architect and a licensed landscape architect respectively.

- b. Site Plan. A fully dimensioned site plan, drawn to scale and showing:
1. Location of existing and proposed structures, including signs, showing dimensions from property line;
 2. Location, size and species of existing trees or natural attributes;
 3. Location of off-street parking. The number of parking spaces (specifying handicapped, compact and regular spaces), type of paving, direction of traffic flow, parking stall dimensions, and areas for turning and maneuvering vehicles;
 4. Location and dimension of driveway approaches, street and highway dedications (if applicable), and off-street loading areas;
 5. Refuse disposal and recycling;
 6. Location, height, and material of existing and/or proposed fences and walls;
 7. Means of screening all vents, pipes, antennas and machinery placed on roofs;
 8. Location, height and specifications of all existing and/or proposed exterior lighting;
 9. Location of all utility pipes, valves, vaults and similar appurtenances; and
 10. Location of structures on abutting lots showing dimensions to property line.
 11. Any other information deemed necessary by the Director of Planning and Building Safety.
- c. Photometric Analysis for parking lots and parking structures.
- d. Elevation Drawings. Elevation drawings dimensioned and fully illustrating all sides of the proposed structures. These drawings must include:
1. Location of signs and size, height, color, material and type of illumination of all signs. A Master Sign Plan must be submitted when the development includes two or more tenant spaces;
 2. Location, size and style of architectural features, such as awnings, doors, windows and other wall openings; and

3. All exterior materials and their colors.
- e. Landscape Plan. A preliminary landscape plan showing the location and design of the following listed items:
 1. Existing trees (by species and size) proposed to be retained, removed or relocated on the site;
 2. Landscaped areas and the numbers, varieties and sizes of plant materials to be planted therein and all other landscape features;
 3. Softscape, hardscape (walkways, paving, textured concrete) and lighting; and
 4. All submittal material required by ESMC Chapter 10-2.
 - f. Colors and Materials. A materials and colors board showing all colors and materials, with color chips and textures keyed to the principal plan elements where those components are found.
 - g. Floor Plans (fully dimensioned).
 - h. Photo Board. Showing subject site, and all surrounding properties.
 - i. Rendering/Illustration. One set of color elevation drawings or a color rendering. The Director of Planning and Building Safety may require, at his/her discretion, a computer model where such is necessary to evaluate scale, massing and architectural treatment.

3. Site Plan Review – Procedure

- a. The Director of Planning and Building Safety must review the application to ensure there is consistency with the Specific Plan within 45 days after the Director deems the application complete in accordance with Government Code section 65940 et seq.
- a. The Site Plan Review process is discretionary and is subject to the requirements of the California Environmental Quality Act (CEQA).
- b. The Site Plan Review must be scheduled for public hearing before the Planning Commission within the time limits established by applicable Government Code Sections, which can include, but are not limited to the Permit Streamlining Act (Government Code § 65920 et seq.) and the California Environmental Quality Act (CEQA) (Public Resources Code § 21000 et seq.). Notice of public hearings must be given in accordance with

ESMC Section 15-27-5. The Planning Commission must render its decision in writing, either approving, approving with conditions, or denying the Site Plan Review application, and stating the reasons for such action. The decision of the Planning Commission is final unless appealed to the City Council.

- c. Any aggrieved person may appeal the Planning Commission's decision to the City Council. Such appeal must be filed in writing with the Department of Planning and Building Safety within ten days after the date of the written decision by the Planning Commission. Upon receipt of such an appeal and the payment of the appropriate filing fee, the matter must be scheduled for consideration by the City Council in accordance with ESMD Chapter 15-25.
- d. The Site Plan is valid for two years from the date of approval. If construction does not commence within such time, but the applicant has diligently pursued the Project plan review process, the Director of Planning and Building Safety may extend the Site Plan approval for up to two additional years.
- e. After the Site Plan is approved, the Director of Planning and Building Safety may approve minor changes in the Site Plan or its conditions if the Director finds that there are practical reasons for such changes, that such changes do not substantially vary from the previously approved site plan and applicable law and that such changes do not involve deviations from the design's intent.

4. Site Plan Review Criteria

The purpose of the Site Plan Review procedure is to ensure that the development provides a cohesive visual identity and coordinated design character for the Specific Plan area of high quality. The overall coordinated design character must be expressed in the site planning, architecture, landscaping, lighting, and signage. The architectural design is to be compatible in character, massing and materials consistent with the conceptual plan depicted in this Plan.

In approving the Site Plan Review the Planning Commission, or City Council on appeal, must consider the following factors:

- a. The dimensions, shape and orientation of the parcel;
- b. The placement of buildings and structures on the parcel;
- c. The height, setbacks, bulk and building materials;
- d. The building materials and design;

- e. The distance between buildings or structures;
- f. The location, number and layout of off-street parking and loading spaces;
- g. The internal vehicular patterns and pedestrian safety features;
- h. The location, distribution, amount and type of landscaping materials and the sustainability of the landscaping material with the El Segundo climate in compliance with the applicable climate zone;
- i. The placement, photometrics, height and direction of illumination of light standards;
- j. The location, number, size and height of signs;
- k. The location, height and materials of walls, fences or hedges;
- l. The location and method of screening refuse and storage areas, roof equipment, pipes, vents, utility equipment and all equipment not contained in the main buildings of the development;
- m. Compliance with all applicable development standards including, but not limited to, height, setbacks, FAR, and off-street parking requirements; and,
- n. Consistency with the Design Guidelines of this Specific Plan.

5. Approval Criteria

The Planning Commission, or City Council on appeal, may approve the Site Plan Review if it finds that the proposed development, with conditions if necessary, is consistent with this Specific Plan.

6. Exempt Activities

The following is a list of activities which are exempt from the Site Plan Review process. This list is not all-inclusive; the Director of Planning and Building Safety may exempt other activities not listed that constitute minor changes to an approved Site Plan:

- a. All interior changes and alterations
- b. Exterior mechanical equipment (heating, air conditioning, water heater, transformers) designed with mechanical equipment screening compatible with the architecture of the building to which it is adjacent or affixed.
- c. Minor exterior repairs with the same or similar types of building materials

as determined by the Director of Planning and Building Safety.

- d. Re-glazing new mullions.
- e. Re-landscaping consistent with the landscape palette.
- f. Repainting.
- g. Reroofing with similar style roofing materials.

E. AMENDMENT

In accordance with the Government Code §§ 65450-65457, Specific Plans must be prepared, adopted and amended in the same manner as General Plans except that Specific Plans may be adopted by resolution or by ordinance.

This Specific Plan may be amended as necessary by ordinance. Said amendment or amendments do not require a concurrent General Plan amendment unless the Director of Planning and Building Safety determines that the proposed amendment would substantially affect General Plan goals, policies, objectives or programs.

F. CALIFORNIA ENVIRONMENTAL QUALITY ACT COMPLIANCE

The Lakes Specific Plan and related entitlements were approved in accordance with the California Environmental Quality Act (CEQA), the State CEQA Guidelines (Guidelines), and City policies adopted to implement the CEQA and the Guidelines.