

# **222 Kansas Street Specific Plan**

**JUNE 2012**



# 222 KANSAS STREET SPECIFIC PLAN

## 1.0 SUMMARY

This Specific Plan was prepared to provide guidance and to allow flexibility in developing the 4.83 gross acre property located at 222 Kansas Street (the "Project Site") consistent with the adjoining uses. The Specific Plan guides the build-out of the Project Site in a manner that is consistent with City and State policies and standards and ensures that the Project is developed in a coordinated manner.

Under this Specific Plan, the Project Site will be split into two sections, a southerly 3.1 net acre parcel and a northerly 1.55 net acre parcel which may be divided into four parcels, for a total of 5 parcels. An additional .18 acres of street frontage will be dedicated to the City along Grand Avenue (10 feet), Kansas Street (5 feet), and Franklin Avenue (5 feet); an additional 9 feet of the 1.55 acre parcel along Grand Avenue will be irrevocably offered to the City for dedication. The entire Project Site can be used for any of the uses set forth in this Specific Plan. On the northerly portion of the property, a .14 acre parcel will be created out of the 1.55 acres on the eastern side (1600 East Grand Avenue) for a reconfigured storage lot for the existing Jim and Jack's Collision Center. With this reconfiguration, the parking facility will be screened in and hidden from public view.

A site plan was developed for the Project Site and is attached as Exhibits 2 - 8 and incorporated into the Specific Plan by this reference ("Approved Site Plan"). Under the Approved Site Plan, the southerly 3.1 acres will initially be developed for the United States Department of Agriculture ("USDA") as its new Animal and Plant Health Inspection Services ("APHIS") and the northerly 1.55 acre parcel will be subdivided into 4 separate parcels, one of which (1600 East Grand Avenue) is the storage lot for the existing Jim and Jack's Collision Center. Two office/industrial buildings, to be divided into ten commercial condominiums each, will be built on the remaining 1.41 acres, along with parking spaces for 103 vehicles. Detailed text and exhibits which more fully describe the Approved Site Plan are included at Section 5.7 of this Specific Plan.

The Specific Plan does not require that the Project Site be developed pursuant to the Approved Site Plan. An alternate site plan may be submitted and the Project Site can be utilized for any of the uses allowed in the Specific Plan in accordance with the development standards set forth herein.

## 1.1 PURPOSE AND AUTHORITY OF SPECIFIC PLAN

The purpose of this Specific Plan is to regulate land uses on the Project.

This Specific Plan was adopted in accordance with the provisions of Government Code §§ 65450 through 65457. These sections also identify the required contents of a Specific Plan and mandate consistency with the General Plan.

According to Government Code § 65450, a Specific Plan must include text and a diagram or diagrams which specify all of the following in detail:

- The distribution, location, and extent of the uses of land, including open space within the area covered by the plan.

- The proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the land area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects and financing measures necessary to carry out the above items.
- A discussion of the relationship of the Specific Plan to the General Plan.

A review of the El Segundo General Plan shows that this Specific Plan is compatible and consistent with the goals and policies outlined in the General Plan. This Specific Plan will further the goals and policies of the General Plan as more fully described below.

This Specific Plan reconciles the policies of the El Segundo General Plan and actual development of the Project Site. By functioning as a regulatory document, the 222 Kansas Street Specific Plan implements the goals, policies, and objectives of the El Segundo General Plan. All future development plans and entitlements within the Specific Plan boundaries must be consistent with the standards set forth in this document.

## **1.2 PROJECT GOALS**

The goal of this Specific Plan is to develop the Project Site with office and industrial uses. This Specific Plan provides regulations that allow for expanded office space – beyond that originally contemplated for the site – in conjunction with industrial uses and allows construction and operation of a federal government facility.

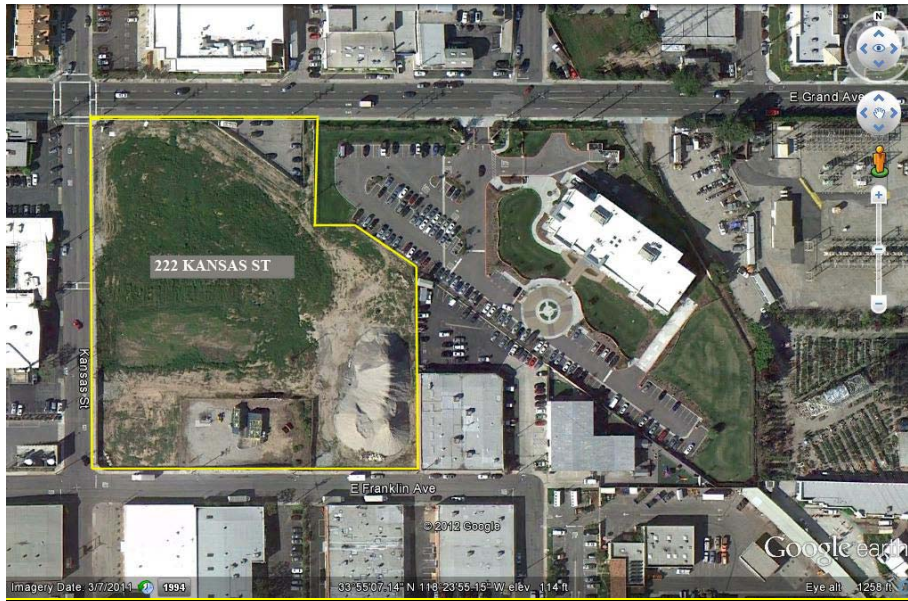
## **1.3 PROJECT LOCATION AND ADJACENT LAND USES**

Regionally, the Project Site is located in the northwest quadrant of the City of El Segundo. It is bordered by Grand Avenue to the north, Franklin Avenue to the south, and Kansas Street to the west. The Property lies approximately 500 feet west of Sepulveda Boulevard. The Project Site is located less than one mile south of Interstate 105, approximately 1.75 miles west of Interstate 405, and less than 1.75 miles east of the Pacific Ocean.

Surrounding land uses primarily consist of light industrial and commercial facilities. Multi-family residential properties are located northwest of the site, across the intersection of Kansas Street and Grand Avenue. Commercial uses occupy the building north of the site across Grand Avenue. Light industrial/commercial uses are located northeast of the site across Grand Avenue. The majority of the space east of the site is occupied by the Military Entrance Processing Station (“MEPS”). Land south of the MEPS, but still to the east of the Project Site, is occupied by additional commercial uses including the Grateful Dogs Clubhouse. Commercial/industrial sites lie south and southeast of the Project Site. Commercial buildings lie to the west of the project site across Kansas Street, between Franklin Avenue and Grand Avenue. All of the surrounding property lies within the Medium Manufacturing District of the

Smoky Hollow Specific Plan area; portions of the surrounding property have the Grand Avenue Commercial Site Overlay.

### Exhibit 1 - Adjacent Properties



## 1.4 PROJECT SITE HISTORY

The Project Site formerly housed International Rectifier Corporation (“IRC”) and was classified as a heavy manufacturing facility. Except for the parcel at 1600 East Grand Avenue which is being used as overflow storage for Jim and Jack’s Collision Center across the street, the Project Site is now undeveloped. There is a permanently capped oil well located on the southern portion of the Project Site.

In February 2009, the City approved an Initial Study/Mitigated Negative Declaration for the Segundo Business Park which was a proposed development that would have subdivided the Project Site into 55 commercial and light industrial condominium units to be located in six on-site buildings. The Business Park would have been subjected to the development restrictions of the Medium Manufacturing District of the Smoky Hollow Specific Plan, which contains limits on the amount of office space that could be developed. The Business Park would have had a gross FAR of 0.41 and the heights of the structures would have been limited to 35 feet. Office and restaurant uses would have occupied 32 of the units and light industrial uses would have occupied the remaining 23 units. The Business Park also included a lot line adjustment with adjacent parcels to the east of the site along Grand Avenue which would have allowed the triangular parking lot that handles the overflow storage of damaged vehicles awaiting repair at Jim and Jack’s Collision Center to be replaced with a walled-in parking lot. The Business Park was never financially feasible and the Project Site reverted to the bank.

In August 2010, the USDA began its search for a new facility for its Animal and Plant Housing Inspection Services with specific location criteria that required it to be in the proximity of LAX. In October 2011 SMPO Properties was awarded the project to build the APHIS facility on the vacant property on Kansas Street and SMPO acquired the Project Site that same month. A

short time later SMPO Properties and Mar Ventures, Inc. partnered to develop the entire 4.83 acres under a Specific Plan in order to allow the development of the APHIS facility and other buildings on the Site.

An application for this Specific Plan, along with related applications for discretionary land use approvals, was filled with the City in early 2012. Before these applications were considered, the City approved Lot Line Adjustment LLA 12-03 between SMPO Lab, LLC and the owners of the MEPS and Jim Jack's Collision Center properties to the east to realign the eastern boundary of the Project Site and divide the Project Site into the northerly 1.55 acre parcel and southerly 3.1 acre parcel.

## **1.5 EXISTING SITE**

The proposed Project Site is currently undeveloped. There are no uses on the Property except for the overflow storage for Jim and Jack's at 1600 East Grand Avenue. The site slopes from north to south. The only impervious surface on the Project Site is the overflow parking in the northeastern corner.

The Specific Plan area will encompass the entire 4.83 gross acre/4.65 net acre site.

## **1.6 CEQA COMPLIANCE**

In compliance with CEQA the Mitigated Negative Declaration for the Segundo Business Park was used for this Project along with an Initial Study/Mitigated Negative Declaration Addendum prepared in June, 2012.

## **1.7 PROJECT DESCRIPTION**

The 222 Kansas Street Specific Plan will be developed in substantial conformance with the land use and development standards set forth in Section 4.0 below. The Specific Plan area will be limited to an overall FAR of 0.60 which would allow development of 121,474 net square feet area over the 4.65 net acres. The Project Site may be developed with any of the uses allowed under Section 4.1 and in conformance with the development standards of Section 4.3.

Northerly 1.55 acres – this portion of the Project Site will be divided into a minimum of two parcels, one of which will be a .14 acre parcel at 1600 East Grand Avenue which will house the reconfigured overflow storage for the existing Jim and Jack's Collision Center. With the reconfiguration the parcel will be fenced in and set back from Grand Avenue. The lot at 1600 East Grand Avenue will continue to take access off of Grand Avenue; the remaining 1.41 acres will take access off of a driveway on Kansas Street.

Southerly 3.1 acres – in addition to the uses allowed for the northerly portion, this portion of the Project Site may also be used for a facility to be leased by a governmental or other tax-exempt entity provided that the development does not exceed 50,000 square feet and is subject to a Development Agreement. Access to this portion of the Project Site will be taken from a second driveway on Kansas Street and up to two driveways on Franklin Avenue, one of which may be up to 40 feet wide.

Remaining 0.18 acre – the remaining acreage would be dedicated to the City as follows: 10 feet along Grand Avenue; 5 feet along Kansas Street; and 5 feet along Franklin Avenue.

## 1.8 ENTITLEMENTS

The following entitlements were required for this Project.

- Environmental Assessment EA-959 – Initial Study/Mitigated Negative Declaration Addendum
- General Plan Amendment GPA 12-01 changing the land use designation of the Project Site from Smoky Hollow to 222 Kansas Street, adding language to the Land Use Element of the General Plan, and revising Exhibit LU-3 of the Land Use Element.
- Specific Plan Amendment SPA 12-01 deleting the Project Site from the Smoky Hollow Specific Plan Area and creating a new 222 Kansas Street Specific Plan Area.
- Zone Text Amendment ZTA 12-01 to: 1) amend ESMC § 15-11-1 to reflect the reduced acreage of the Smoky Hollow Specific Plan area; 2) amend ESMC § 15-11-5 to delete the 4.83 acre Project Site from the northern property description of the Smoky Hollow Specific Plan; 3) amend Exhibits II-4 through II-8 and III-1 and III-2 to eliminate the 222 Kansas Street Specific Plan area from the Smoky Hollow Specific Plan maps; and 4) add a new ESMC § 15-3-2(A)(8) “222 KSSP - 222 Kansas Street Specific Plan.”
- Zone Change ZC 12-01 to reclassify Project Site from Smoky Hollow Specific Plan to 222 Kansas Street Specific Plan.
- Development Agreement DA 12-01 between the City of El Segundo and SMPO Lab, LLC, a Delaware Limited Liability Company.
- Vesting Tentative Map No. SUB 12-02- dividing the northerly 1.55 acres into 4 separate parcels.
- Site Plan Review SPR 12-01 for the site plan contained in this Specific Plan.

## **2.0 CONSISTENCY WITH THE GENERAL PLAN**

Government Code § 65454 requires that the Specific Plan be consistent with the General Plan. Government Code § 65451 requires a statement of relationship between the Specific Plan and the General Plan. The two elements that are most related to the Project are the Land Use Element and the Economic Development Element; the consistency with these two elements is discussed below. A more detailed General Plan Consistency analysis is included at Appendix A.

The uses allowed under this Specific Plan are very similar to the uses that are allowed under the Smoky Hollow Specific Plan which previously encompassed the Project Site. The primary differences are as follows:

- The Medium Manufacturing District of the Smoky Hollow Specific Plan allows general offices, but with a square foot limitation as to the amount of office space that can be developed. This Specific Plan provides for office uses on all portions of the Project Site which will be limited in square footage only by development standards.
- The Grand Avenue Commercial Overlay Zone would allow medical and dental office if activated on the northern portion of the Project Site, but then industrial uses would not be allowed. The Specific Plan provides for these uses on all portions of the Project Site in conjunction with industrial uses.
- The Specific Plan allows for a governmental or non-profit entity to operate its facilities in the southerly portion of the Project Site area.
- The Specific Plan specifically allows automotive storage facilities in order to account for the existing Jim and Jack's overflow storage lot at 1600 East Grand Avenue.
- Eating establishments and retail businesses are prohibited uses under this Specific Plan.

## **2.1 ECONOMIC DEVELOPMENT ELEMENT**

The Economic Development Element of the General Plan is concerned with the economic health of the commercial and industrial uses in the City. It focuses on the expansion and maintenance of El Segundo's economic base and on the enhancement of the City's business climate since economic development goals and policies help maximize the City's economic development potential. The Economic Development Element specifically recognizes the City's location as a "product" and the buyers are the businesses which wish to locate in this location which is close to LAX, ground transportation and freeways. The Economic Development Element also recognized the possibility of redeveloping large sites as they become vacant. One of the primary goals of the Economic Development Element is to create a strong, healthy economic community in which all stakeholders can benefit. With this goal in mind, the Economic Development Element sets policies of maintaining economic development as a top priority and maintaining and promoting land uses that improve the tax base while balancing economic growth and quality of life.

This Specific Plan achieves the goal of creating a strong and healthy economic community by providing the mechanism to redevelop a currently vacant and undeveloped piece of property.

The additional persons that will be employed in the Specific Plan development will further help to strengthen the City's economy as there will be more individuals to shop in the nearby commercial areas, including the Downtown area, and use the services in the surrounding community.

Under the Approved Site Plan, the southerly 3.1 acres will be developed with the 45,152 square foot USDA facility that will employ approximately 45 persons. The USDA chose this location precisely because of the location factors recognized in the Economic Development Element. Although the USDA would be exempt from several taxes, the Development Agreement that is tied to the Specific Plan will require payment to the City to offset this loss. Also under the Approved Site Plan, the northerly 1.55 acres will be developed with two buildings totaling slightly under 31,000 square feet. These buildings would fill a need for smaller office space in the South Bay area as most small tenants are forced to lease space in mid- and high-rise buildings rather than purchase their own space. It is estimated that these two buildings will provide employment opportunities for approximately 90 people.

## **2.2 LAND USE ELEMENT**

The Land Use Element of the General Plan recognized the growing trends of office development and light manufacturing, research and development, wholesaling, distributing, and laboratories, rather than heavy manufacturing. The Project Site was previously designated as, and is surrounded by, the Smoky Hollow Specific Plan area which allows for primarily light industrial uses including light manufacturing, research and development, warehousing, and office uses. The maximum FAR for newly constructed projects in the Medium Manufacturing District of the Smoky Hollow Specific Plan area is 0.6. The Specific Plan development will be consistent with the uses and development standards of the surrounding Smoky Hollow Specific Plan as both Specific Plan areas allow an FAR of 0.6.

One of the goals of the Land Use Element is to provide an attractive place to live and work while maintaining the City's small town atmosphere. In order to accomplish this goal the Land Use Element sets the objective of preventing deterioration and blight. The Specific Plan implements this goal and objective by providing for development on a large, vacant parcel that is currently being used only for construction staging. The development standards set forth herein will ensure that the Project is of a high quality.

Another goal of the Land Use Element is to provide a stable tax base for the City without adversely impacting the Downtown area. This goal has a specific objective of providing for new office and research and development uses. The development allowed by the Specific Plan will contribute to the City's tax base through an increase in property taxes, an increase in sales taxes due to the influx of new employees as well as individuals patronizing new businesses, and compensation paid to the City for the loss of taxes that would have otherwise been paid if the southerly portion is developed by a tax-exempt entity. The uses allowed under the Specific Plan will not impact the Downtown area; instead these uses will help stimulate business in the Downtown area by the influx of new persons in the area.



## **2.3 OTHER ELEMENTS**

As set forth above, the Specific Plan is very similar to the previous Smoky Hollow Specific Plan and therefore, the Specific Plan is consistent with the other elements of the General Plan just as the Smoky Hollow Specific Plan was consistent.

## **3.0 PHYSICAL DEVELOPMENT**

### **3.1 CIRCULATION**

Access to the northerly 1.55 acres of the Project Site will be from an entrance on Kansas Street. The overflow storage lot at 1600 East Grand Avenue will continue to take access from a driveway on Grand Avenue. The southerly 3.1 acres will take access from a second driveway on Kansas Street and up to two driveways on Franklin Avenue. All parking lots will be designed to provide adequate circulation and emergency access as well as comply with or exceed all other City standards, except as modified by this Specific Plan. The Director of Planning and Building Safety may allow parking areas not to be interconnected as part of the site plan review process.

### **3.2 UTILITIES AND INFRASTRUCTURE**

#### **A. Water Service**

Water service is provided by the City of El Segundo and is currently available within the Specific Plan Area. Water to the buildings will be provided by an 8" water line in Franklin Avenue. The Project would maintain this connection, add connections as necessary if the existing line does not have adequate capacity, and provide for on-site domestic and fire water services.

#### **B. Sewer Service**

Sewer service within the Project Area, which is west of Sepulveda Boulevard, is provided by underground sewers maintained by the City of El Segundo. The site is currently served by an 8" sewer line in Franklin Avenue. If an existing sewer lateral exists on the property and is sized to handle the capacity of the proposed sewage flow, then a connection will be made to the lateral. If no existing lateral is found, or if it is undersized, then a new sewer later will be installed to the existing 8" sewer line in Franklin Avenue.

#### **C. Solid Waste Disposal**

Solid waste disposal is provided to commercial users by a variety of private haulers. Landfill capacity is adequate for the assumed population and commercial growth within Los Angeles County. The 222 Kansas Street Specific Plan would not exceed any assumptions for commercial growth in the region.

#### **D. Gas Service**

Gas service is provided by Southern California Gas Company. A 6" service line is available in Franklin Avenue.

E. Electric/Telephone and Cable Service

Electric service is provided by Southern California Edison. Telephone service is provided by AT&T, Verizon and Sprint via existing lines in adjacent streets and cable service is provided by Time Warner Cable, Direct TV and Dish Network.

F. Fire Suppression

The El Segundo Fire Department (ESFD) provides fire protection services and emergency medical service to the City. The Specific Plan area is approximately 1 mile from Station 1 located at 314 Main Street in Downtown El Segundo and approximately 1.6 miles from Fire Station 2 located at 2261 Mariposa Avenue. Water for fire suppression is available from existing water lines via hydrants adjacent to the Project Site. Private hydrants will be installed if required to provide coverage for approved structures.

G. Police Services

The El Segundo Police Department provides police protection services to the City. The Specific Plan area is approximately 1 mile from the police station located at 348 Main Street.

H. Storm Drains

All storm drainage from the site will be collected, treated and diverted to an on-site retention system sized to meet the Los Angeles County SUSMP requirements. Overflow from this system will drain through the curb face on Franklin Avenue. If there is not adequate slope for the runoff to drain through the curb face, a connection will be made to an existing curb inlet catch basin on Kansas Street, just north of the intersection with Franklin Avenue. The catch basin connects to an existing 66" line that is owned and maintained by the Los Angeles County Flood Control District.

## **4.0 LAND USE AND DEVELOPMENT STANDARDS**

### **4.1 USES**

#### **PERMITTED USES:**

- A. Art studios
- B. Automotive storage in relation to an automobile repair facility
- C. General and/or multimedia related offices
- D. Medical and dental offices
- E. Light assembly and processing
- F. Light industrial
- G. Manufacturing
- H. Mixed use projects including commercial (other than retail), office and light industrial uses
- I. Parking structures and parking lots
- J. Public facilities, public utilities
- K. Research and development
- L. Warehousing and distribution
- M. For the southerly portion of the property only, facilities to be leased by governmental or other tax-exempt entity up to 50,000 square feet, subject to the requirement of a Development Agreement
- N. Other similar uses approved by the Director of Planning and Building Safety, as provided by ESMC Chapter 15-22.

#### **PERMITTED ACCESSORY USES:**

- A. Any use customarily incidental to a permitted use
- B. Employee recreation facilities and play areas
- C. Open storage incidental to a principal use
- D. Single caretaker units at the ratio of one per legal building site or business establishment whichever is larger

- E. Other similar uses approved by the Director of Planning and Building Safety, as provided by ESMC Chapter 15-22

**USES SUBJECT TO ADMINISTRATIVE USE PERMIT:**

Other similar uses approved by the Director of Planning and Building Safety, as provided by ESMC Chapter 15-22.

**USES SUBJECT TO CONDITIONAL USE PERMIT:**

The following uses are allowed subject to obtaining a conditional use permit, as provided by ESMC Chapter 15-23:

- A. Automobile service uses, if a three hundred foot (300') minimum distance from any residentially zoned property is provided
- B. Service stations, if a five hundred foot (500') minimum distance from any residential zoned property is provided
- C. Other similar uses approved by the Director of Planning and Building Safety, as provided by ESMC Chapter 15-22

**PROHIBITED USES:**

- A. Automobile dismantling businesses
- B. Retail sales, restaurants and cafes
- C. Automobile service uses located within three hundred feet (300') of any residentially zoned property
- D. Drive-through restaurants

**4.2 DISTRIBUTION AND LOCATION OF LAND USE**

The northerly 1.55 acres will be developed with four separate parcels in order to create a 0.14 acre parcel at 1600 East Grand Avenue for the relocated storage for Jim and Jack's Collision Center along the eastern portion of the property. Land uses may be distributed anywhere on the Project Site provided they fall within the uses allowed by Section 4.1 and meet the remaining development standards of this Section 4.0.

The southerly 3.1 acres will be developed as one parcel with the USDA's 45,152 square foot APHIS facility initially occupying the building. The operations will include office, lab, and warehouse uses. Approximately 97 parking spaces will be provided.

### 4.3 SITE DEVELOPMENT STANDARDS

Except as otherwise provided, this Specific Plan must be administered pursuant to the ESMC. The development standards in this Specific Plan are intended to provide flexibility in the development while providing consistency with adjacent uses.

#### A. Lot Area

The minimum lot area is 11,200 square feet with the exception of the lot fronting Grand Avenue on the northeastern portion of the site (Lot No. 4) which minimum lot area may be 5,000 gross square feet.

#### B. Height

##### Northerly 1.55 acres

No building or structure can exceed forty (40) feet in height, with the exceptions of parapets and other auxiliary structures that cannot exceed forty-five (45) feet in height.

##### Southerly 3.1 acres

No building or structure can exceed thirty-five (35) feet in height, with the exceptions of parapets and other auxiliary structures that cannot exceed forty-five (45) feet in height.

#### C. Setbacks

Front Yard: No parking is allowed in the setback area. The setbacks are as follows:

Grand Avenue: 10 foot minimum (includes 9' irrevocable offer of dedication)  
Franklin Avenue: 8 foot minimum  
Kansas Street: 5 foot minimum

Side Yard: no side yard setback is required unless the side yard abuts one of the following dedicated streets, in which case the setbacks are as follows:

Grand Avenue: 10 foot minimum (includes 9' irrevocable offer of dedication)  
Franklin Avenue: 8 foot minimum  
Kansas Street: 5 foot minimum

Rear Yard: No rear yard setback is required, unless the rear yard abuts one of the following dedicated streets, in which case the setbacks are as follows:

Grand Avenue: 10 foot minimum (includes 9' irrevocable offer of dedication)  
Franklin Avenue: 8 foot minimum  
Kansas Street: 5 foot minimum

Fences and gates may encroach in the setback areas.

**D. Lot Frontage**

No requirement.

**E. Building Area/Floor Area Ratio (FAR)**

The FAR of the entire Project Site, as opposed to individual parcels, cannot exceed 0.60. The FAR is to be based on net square footage of the buildings and the net square footage of the Project Site.

**F. Off-Street Parking and Loading Spaces**

Off street parking and loading are provided as required by ESMC Chapter 15-15, with the exception of the following:

1. Up to 35% of the parking spaces may be compact spaces;
2. Emergency generators may be allowed in the parking area provided that they do not reduce required parking and they are decoratively screened;
3. The landscaped setback for the auto storage lot needs to only be 10 feet to the first parking space;
4. The requirement that parking areas be connected may be modified as part of the site plan review process; and
5. The number of required loading areas may be modified as part of the site plan review process.

**G. Landscaping**

Landscaping requirements are as follows:

1. A minimum of seven percent (7%) of the total site's square footage must be devoted to landscaping;
2. Landscaping is not required in side yard setbacks unless the side yard abuts a dedicated street or abuts a different zone;
3. Landscaping must consist of trees, shrubs, vines, bushes, flowers, ground coverings or any combination thereof;
4. Landscaping cannot consist solely of artificial plants, artificial turf, crushed rock, redwood bark or decorative pavement;
5. In the front yard setback, an at-grade or raised planter landscaping must be employed. A permanent evergreen ground cover (turf, ivy) and trees are the basic material recommended. One fifteen (15) gallon tree must be provided for every twenty five feet (25') of lot frontage on a dedicated street;

6. All landscaped areas must be provided with permanent watering facilities;
7. Landscaping along Grand Avenue is only required to be ten (10) feet;
8. Patios may encroach within the setback areas and no landscaping is required in such areas;
9. Emergency generators may be located in the landscaping area, but must be decoratively screened with opaque material.

#### **H. Walls and Fences**

All walls and fences must comply with ESMC § 15-2-4. Decorative masonry, open work wrought iron and similar materials are permitted. The use of chain link and razor wire is prohibited.

#### **I. Access**

1. All development projects must provide adequate access for emergency vehicles. In addition, all development projects must provide pedestrian access between buildings and transit facilities located on site and/or off site, if within adjoining public rights-of-way.
2. The lot at 1600 East Grand Avenue may continue to take access from Grand Avenue.
3. Driveways of up to 40 feet on Franklin Street may be allowed as part of the site plan review process.

#### **J. Signs**

Signs located in the Specific Plan area must comply with the requirements of ESMC Chapter 15-18.

#### **K. Energy Standards**

The development must be built to a minimum of LEED Certified standard or such other equivalent standard determined by the Director of Planning and Building Safety. Actual LEED certification is not required, however, the applicant must demonstrate that the project is built to a minimum of LEED Certified standard or such other equivalent standard using the GBCI scorecard prepared by a qualified professional with a LEED AP credential. The Director of Planning and Building Safety will determine if the items identified on the scorecard and report, show a good faith effort to meet such standard. LEED stands for the Leadership in Energy and Environmental Design (LEED) Green Building Rating System developed by the United States Green Building Council (USGBC) and provides a suite of standards for environmentally sustainable construction.

## **L. Design Standards**

The following minimum design standards must be incorporated in all projects within the Plan area:

1. All colors, textures, and materials on exterior elevation(s) must be coordinated to achieve a continuity of design throughout the 4.83 acre portion of the Project Site, regardless of whether the buildings are developed at the same time;
2. The buildings must have contrasting accent features that use at least two primary exterior building materials (including, without limitation, concrete, stucco, stone, rock, and brick) and/or two exterior colors;
3. Building materials must be of non-reflective coatings and glazings and windows must use low-reflectivity glass;
6. Long, plain building elevations must be avoided; sufficient articulation must be provided;
5. Plans must be reviewed and approved by the Director of Planning and Building Safety for compliance with these Design Standards. If the Director finds that such plans are non compliant, an applicant may appeal that decision in accordance with the ESMC.

## **M. Phasing**

Rough grading will occur over the entire Specific Plan area at one time. The Project Site may be developed in one or more phases which may occur concurrently.

## **N. Transportation Demand Management (TDM)**

Except as provided by this Specific Plan, development is required to comply with the TDM requirements of ESMC Chapter 15.16. In determining the size of the development, the northerly and southerly developments must be treated as two separate developments absent submission of a different site plan which shows a combined development over the two portions. All development on the northerly portion, with the exception of the auto storage lot, must be treated as one development.

Regardless of the size of the development, bicycle racks must be provided for each phase of development.

Regardless of the size of the development, each development must provide a bulletin board, display case or kiosk displaying transportation information located where it is visible to the greatest number of employees. Information in the area must include, without limitation, the following:

1. Current maps, routes and schedules for public transit routes serving the site;
2. Telephone numbers for referrals on transportation information including numbers for the regional ridesharing agency and local transit operators;



3. Ridesharing promotional material supplied by commuter-oriented organizations;
4. Bicycle route and facility information including regional/local bicycle maps and bicycle safety information; and
5. A list of facilities available for carpoolers, vanpoolers, bicyclists, transit riders, residents and pedestrians at the site.

#### **4.4 MODIFICATIONS**

##### **A. Major Modifications**

The following modifications constitute a Major Modification and require an amendment to this Specific Plan:

1. Any decrease in the required building setbacks;
2. Any increase in the total developable square footage or FAR of the entire Property;
3. Any increase in height of buildings or structures on the Property;
4. Any decrease in the minimum required lot area;
5. Any change in use to a use which is not permitted herein;
6. Any deviation from the uses and development standards or limitations set forth in Sections 4.1 through Section 4.3 of this Specific Plan, except to the extent these Sections specifically provide for the Council or Director of Planning and Building Safety to approve such changes;
7. Any material modification to Developer's obligation to build to LEED standards, or such other alternative as determined by the Director of Planning and Building Safety for the Project; or
8. Any material modification that requires modification to the MND, other than an Addendum.
9. Other than the Major Modifications listed above, all other modifications to the Project are considered "Minor Modifications."

##### **B. Minor Modifications/Administrative Approvals**

Any modification to the Project or Project Approvals not listed in subsection A above, including a use approved subject to an Administrative Use Permit, is a Minor Modification. The Developer may make Minor Modifications without amending this Specific Plan upon the administrative approval of the Director of Planning and Building Safety or designee, provided that such modifications are consistent with the Development Standards, Applicable Rules and Project Approvals.

## **5.0 SITE PLAN REVIEW**

The following procedures shall apply for development of any site plan, with the exception that the Approved Site Plan approved concurrently with this Specific Plan does not require any separate approval other than the Director of Planning and Building Safety reviewing the submitted building plans to ensure conformance with the Approved Site Plan. Absent a change triggering a major modification under Section 4.4A, revisions to the Approved Site Plan or the submission of a new Site Plan that is in accordance with the provisions of Section 4.0 does not require an amendment to this Specific Plan.

### **5.1 OVERVIEW**

In order to develop a project that is in conformance with the uses, density and FAR approved in this Specific Plan, a site plan review (“SPR”) application must be filed with the Department of Planning and Building Safety.

### **5.2 APPLICATION FOR SITE PLAN REVIEW - CONTENTS**

The site plan review application must be submitted in conformance with applicable City application requirements and must include all information deemed necessary by the Director of Planning and Building Safety to address site plan review criteria.

### **5.3 SITE PLAN REVIEW – PROCEDURE**

- A. The Director of Planning and Building Safety must review an application to ensure there is consistency with the Specific Plan within 30 days after it is submitted.
- B. CEQA Review, if required, must be conducted within the time frames set forth in the Public Resources Code and the California Code of Regulations.
- C. The Director of Planning and Building Safety must review site plan applications within 30 days after the completion of the public review period of the environmental documentation, if any, or within 30 days from the date the application is deemed complete if no further environmental review is required. The Director of Planning and Building Safety must render his decision in writing, approving, approving with conditions, or denying the site plan review application, stating the reasons for such action.
- D. The decision of the Director of Planning and Building Safety is final unless appealed to the Planning Commission in accordance with ESMC Chapter 15-25. Such decision of the Planning Commission may be appealed to the City Council in accordance with this same Chapter. Decisions of the Director of Planning and Building Safety and/or Planning Commission are considered final unless timely appealed.
- E. The site plan is valid for two years from the date of approval. If construction has not commenced within such time, but the applicant has diligently pursued the project plan review process, the Director of Planning and Building Safety may extend the site plan approval for up to one additional year.

- F. After the site plan is approved, the Director of Planning and Building Safety may approve minor changes in the site plan or the conditions thereof if the Director finds that there are practical reasons for such changes, that such changes do not substantially vary from the previously approved site plan and applicable ESMC regulations and that such changes do not involve deviations from the design's intent.

#### **5.4 SITE PLAN REVIEW CRITERIA**

The purpose of the site plan review procedure is to ensure that the development provides a cohesive visual identity and coordinated design character for the Specific Plan area of high quality. The overall coordinated design character must be expressed in the site planning, architecture, landscaping, lighting, and signage. The architectural design is to be compatible in character, massing and materials consistent with the site plan depicted in this Specific Plan. The architectural design must provide a character that complements the surrounding uses.

In approving the site plan review the Director of Planning and Building Safety, or the Planning Commission or City Council on appeal, must consider the following factors:

- A. The dimensions, shape and orientation of the parcel;
- B. The placement of buildings and structures on the parcel;
- C. The height, setbacks, and bulk of buildings;
- D. The building materials and design;
- E. The distance between buildings or structures;
- F. The location, number and layout of off-street parking and loading spaces;
- G. The internal traffic patterns and pedestrian safety features;
- H. The location, amount and type of landscaping materials and the sustainability of the landscaping material with the El Segundo climate in compliance with the applicable climate zone;
- I. The placement, height and direction of illumination of light standards;
- J. The location, number, size and height of signs;
- K. The location, height and materials of walls, fences or hedges; and
- L. The location and method of screening refuse and storage areas, roof equipment, pipes, vents, utility equipment and all equipment not contained in the main buildings of the development.

## **5.5 APPROVAL CRITERIA**

The Director of Planning and Building Safety, or Planning Commission or City Council on appeal, will approve the site plan if it finds that the site plan, architecture and landscape design, with conditions if necessary, are consistent with the Project Description and development standards set forth herein.

## **5.6 EXEMPT ACTIVITIES**

The following is a list of activities which are exempt from the site plan review process. This list is not all inclusive; the Director of Planning and Building Safety may exempt other special activities not covered by this example listing:

- A. All interior changes, alterations, construction
- B. Demolition
- C. Exterior mechanical (heating, air conditioning, water heater)
- D. Minor exterior repairs costing less than \$50,000.00
- E. Reglazing, new mullions
- F. Relandscaping of existing site
- G. Repainting
- H. Reroofing with similar style roofing materials

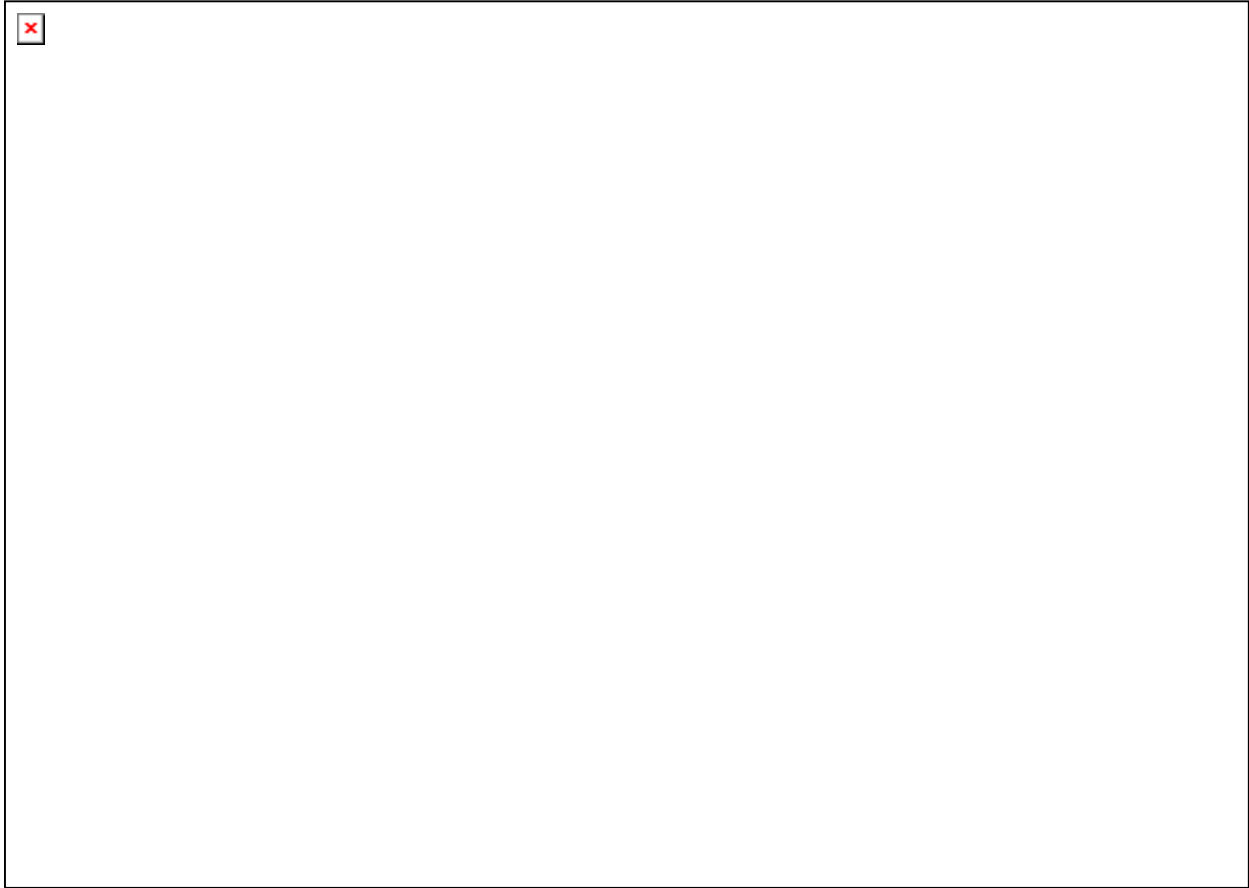
## **5.7 THE APPROVED SITE PLAN**

As set forth above, the approval of this Specific Plan also includes approval of the Approved Site Plan, Exhibits 2 - 8 incorporated into this Specific Plan. The Approved Site Plan proposes a total of 68,975 net square feet (75,182 gross square feet) of development for an overall FAR of 0.34 over the net 4.65 acres.

Under the Approved Site Plan, construction of Phase I, the USDA facility, will take approximately twelve months to complete and construction of Phase II, the buildings on the northerly portion of the Project Site, will take approximately 9 months to complete.

Nothing requires the Project Site to be built in accordance with the Approved Site Plan. A new site plan may be approved in accordance with the provisions of Section 5.

## Exhibit 2 - Entire Site Plan



### A. Northerly 1.55 Acres (Exhibits 2 - 5)

The Approved Site Plan provides for the division of this portion of the Project Site into 4 parcels. Development of two buildings of approximately 12,655 gross/11,496 net square feet and 18,005 gross/15,797 net square feet for a total of 30,660 gross/27,293 net square feet will be placed on two separate parcels and a third parcel will be developed with shared parking of 103 spaces for the two buildings. (See Exhibits 2 [entire site] and 4 [northerly portion].) Only one loading area is required. The buildings will be able to be utilized for any of the allowed uses in this Specific Plan.

The fourth parcel will be the .14 acre parcel at 1600 East Grand Avenue for the existing Jim and Jack's overflow storage on the eastern portion of this parcel. Access to the parcel at 1600 East Grand Avenue will continue to be from Grand Avenue and access to the remainder of the northerly portion will be from a driveway on Kansas Street.

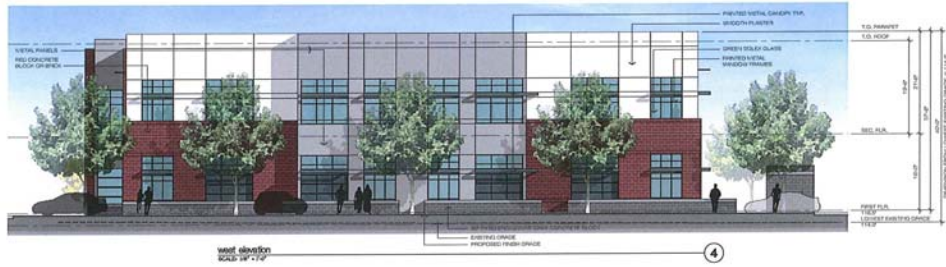
### Exhibit 3 – Northerly Portion Site Plan



### Exhibit 4 – Northerly Portion Building “A” Color Elevations



# Exhibit 5 – Northerly Portion Building “B” Color Elevations

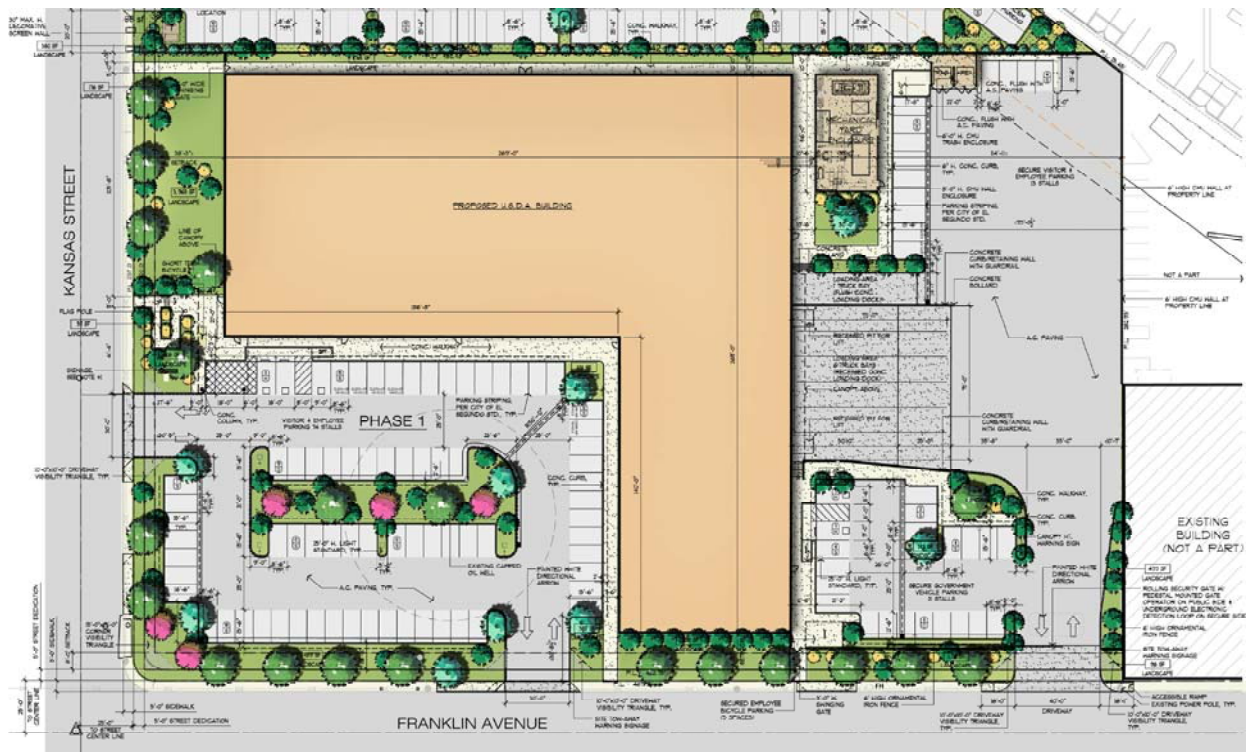


## B. Southerly 3.1 Acres (Exhibits 2 and 6 - 8)

The Approved Site Plan provides for the development of this portion of the Project Site as one parcel with the USDA's APHIS facility. The facility will be approximately 45,152 gross/41,682 net square feet and the uses in the facility will be broken down between: office space (37% - 16,920 s.f.); industrial/labs (29% - 12,978 s.f.); and warehouse (26% - 11,784 s.f.). The remaining square footage would be restrooms, electrical/mechanical rooms, and exterior walls (8% - 3,470 s.f.).

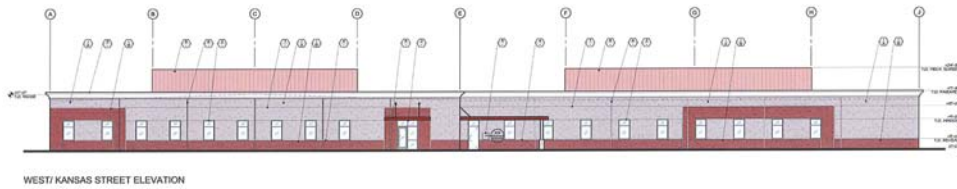
Access to this portion of the Project Site will be from a second driveway on Kansas Street and two driveways on Franklin Avenue; the most easterly driveway may be up to 40 feet. There will be two separate parking areas with a total of 97 parking spaces; interconnectivity of the two parking areas on this portion is not required. At such time as USDA no longer occupies the facility, it may be utilized for any of the allowed uses in this Specific Plan.

### Exhibit 6 - Southerly Portion Site Plan

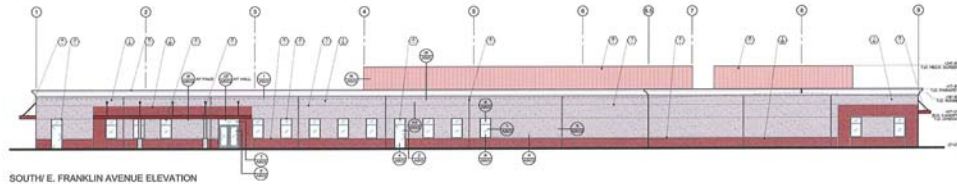




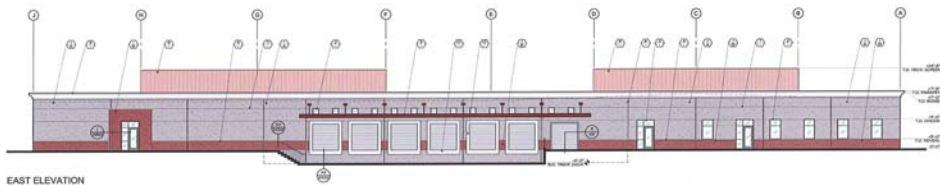
# Exhibit 7 – Southerly Portion USDA Building Color Elevations



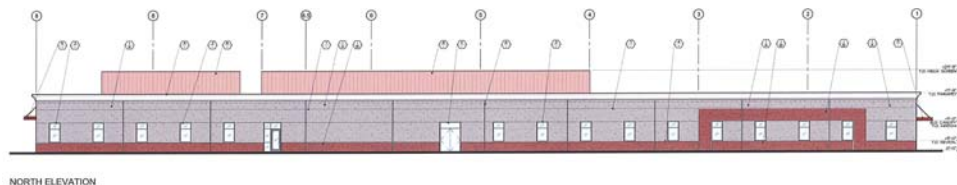
WEST KANSAS STREET ELEVATION



SOUTH E. FRANKLIN AVENUE ELEVATION



EAST ELEVATION



NORTH ELEVATION

EXTERIOR FINISH SCHEDULE			
ITEM	DESCRIPTION	UNIT	QUANTITY
1	CONCRETE	SQ. YD.	
2	CONCRETE FORMWORK	SQ. YD.	
3	CONCRETE FORMWORK	SQ. YD.	
4	CONCRETE FORMWORK	SQ. YD.	
5	CONCRETE FORMWORK	SQ. YD.	
6	CONCRETE FORMWORK	SQ. YD.	
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99	CONCRETE FORMWORK	SQ. YD.	
100	CONCRETE FORMWORK	SQ. YD.	

**Exhibit 8 – Southerly Portion USDA Building Color Renderings**



## **6.0 GENERAL ADMINISTRATION**

Unless regulated by this Specific Plan, development will be administered and enforced by the City in accordance with the ESMC. This Specific Plan supersedes any conflicts with ESMC zoning regulations.

- A. The Director of Planning and Building Safety may grant administrative use permits in accordance with ESMC Chapter 15-22.
- B. The Director of Planning and Building Safety may make other administrative determinations using the same procedures set forth in ESMC Chapter 15-22.
- C. The Director of Planning and Building Safety may grant adjustments and administrative adjustments in accordance with ESMC Chapter 15-24.

## **7.0 AMENDMENT**

In accordance with the Government Code §§ 65450-65457, Specific Plans must be prepared, adopted and amended in the same manner as General Plans except that Specific Plans may be adopted by resolution or by ordinance.

This Specific Plan may be amended as necessary in the same manner as it was originally adopted; a change to the Approved Site Plan or submission of a new site plan does not in and of itself trigger the need for an amendment to the Specific Plan. Said amendment or amendments do not require a concurrent General Plan amendment unless the Director of Planning and Building Safety determines that the proposed amendment would substantially affect General Plan goals, policies, objectives or programs.

**APPENDIX A**  
**GENERAL PLAN CONSISTENCY**

**ECONOMIC DEVELOPMENT ELEMENT**

**Goal ED1: Economic Base**

**To create in El Segundo a strong, healthy economic community in which all diverse stakeholders may benefit.**

**Objective ED1-1**

To build support and cooperation among the City of El Segundo and its business and residential communities for the mutual benefits derived from the maintenance and expansion of El Segundo's economic base.

**Policy ED1-1.1**

Maintain economic development as one of the City's and the business and residential communities' top priorities.

**Policy ED1-1.2**

Focus short-run economic development efforts on business retention and focus longer-run efforts on the diversification of El Segundo's economic base in order to meet quality of life goals.

**Objective ED1-2**

Center diversification efforts on targeted industries that meet the City's criteria for job creation, growth potential, fiscal impact, and fit with local resources.

**Policy ED1-2.1**

Seek to expand El Segundo's retail and commercial base so that the diverse needs of the City's business and residential communities are met.

**Policy ED1-2.2**

Maintain and promote land uses that improve the City's tax base, balancing economic development and quality of life goals.

### **Policy ED1-2.3**

Seek to balance the City's economic development program with the City's resources and infrastructure capacity.

*The 222 Kansas Street project will enhance the economic community of El Segundo by developing a vacant piece of property. The office/industrial buildings will fill a need that is not currently being satisfied in the City, causing tenants to locate outside of the City's boundaries. The USDA, or other government facility, will be required to make an in lieu payment to the City for loss of taxes which will help the economics of the City. The project will create jobs within the city which will benefit other businesses in the City. Any new infrastructure that is required will be installed as part of the development so there will be no stress on the current infrastructure capacity.*

## **LAND USE ELEMENT**

### **Goal LU1: Maintenance of El Segundo's "Small Town" Atmosphere**

#### **Objective LU1-1**

**Maintain El Segundo's "small town" atmosphere, and provide an attractive place to live and work.**

Preserve and maintain the City's low-medium density residential nature, with low building height profile and character, and minimum development standards.

*The height of the buildings in this area will not exceed 40 feet, thereby maintaining a low building height profile.*

### **Goal LU4: Provision of a Stable Tax Base for El Segundo**

#### **Through Commercial Uses**

**Provide a stable tax base for the City through development of new commercial uses, primarily within a mixed-use environment, without adversely affecting the viability of Downtown.**

*The proposed project will allow new commercial uses, but will not impact Downtown as the uses would be non-competing to those are located in the Downtown area. The 222 Kansas Street Specific Plan actually reduces competition from existing Smoky Hollow Specific Plan as retail uses and eating establishments are not allowed in the Project area. Further, the development will bring in new employees to support the Downtown.*

**Policy LU4-1.1**

Require landscaping, its maintenance, and permanent upkeep on all new commercial developments.

*The 222 Kansas Street Specific Plan will include landscaping and maintenance requirements.*

**Policy LU4-1.2**

All commercial facilities shall be built and maintained in accordance with Health and Safety Code requirements and shall meet seismic safety regulations and environmental regulations.

*The 222 Kansas Street development will be required to comply with all current Code requirements.*

**Policy LU4-1.4**

New commercial developments shall meet seismic safety standards and regulations, as well as comply with all noise, air quality, water, and environmental regulations.

*The 222 Kansas Street development will be required to comply with all current seismic safety standards and regulations as well as comply with all other regulations and any mitigation measures required by the Mitigated Negative Declaration.*

**Objective LU4-3**

Provide for new office and research and development uses.

**Policy LU4-3.6**

Require landscaping, its maintenance, and permanent upkeep in all new office and mixed-use developments.

*The 222 Kansas Street Specific Plan will have landscaping and maintenance requirements.*

## **Goal LU5: Attraction of Clean and Beneficial Industrial Uses**

**Retain and attract clean and environmentally safe industrial uses that provide a stable tax base and minimize any negative impact on the City.**

### **Objective LU5-1**

Attract the kinds of industrial uses which will be economically beneficial to the community as well as enhance the environmental quality of the City.

*The 222 Kansas Street Specific Plan will allow light industrial uses on a vacant piece of property. The Specific Plan requires that the development be built to a minimum of LEED Certified standards.*

### **Objective LU5-2**

Encourage the construction of high-quality, well designed industrial developments through adoption of property development standards and provisions of community services and utilities.

#### **Policy LU5-2.1**

New industrial developments shall provide landscaping in parking areas and around the buildings. This landscaping is to be permanently maintained.

*The 222 Kansas Street Specific Plan will require landscaping which will be maintained.*

#### **Policy LU5-2.2**

All outdoor storage shall be properly screened by masonry walls and landscaping.

*The 222 Kansas Street Specific Plan will result in the current outdoor overflow parking facility for Jim & Jack's auto repair to be screened in an attractive manner*

### **Policy LU5-2.3**

New industrial developments shall comply with seismic, noise, air, water, and environmental regulations.

*The 222 Kansas Street development will be required to comply with all current regulations and applicable mitigation measures.*

### **Policy LU5-2.4**

New industries should have good accessibility to secondary or major transportation routes.

*The 222 Kansas Street project is located in close proximity to Grand Avenue and Sepulveda Blvd., both of which are designated as recommended Truck Routes in the City's Circulation Element.*

## **Objective LU5-3**

Encourage the rehabilitation of existing substandard blighted industrial areas through the combined efforts of private and public sectors.

### **Policy LU5-3.1**

Revitalize and upgrade industrial areas which contain aesthetic or functional deficiencies in such areas as landscaping, off-street parking, or loading areas.

*The City's approval of the entitlement requests for the 222 Kansas Street Specific Plan project will lead to development of a currently vacant piece of property and will result in improved aesthetics in the area due to attractively designed buildings and landscaping.*

## **Objective LU5-5**

Establish policies and guidelines to guide light industrial development near residential areas.

*The 222 Kansas Street Specific Plan will include development standards.*



**Objective LU5-6**

Encourage a mix of office and light industrial uses in industrial areas.

*The 222 Kansas Street Specific Plan specifically allows the development of office and industrial uses.*

**Goal LU7: Provision of Quality Infrastructure**

**Objective LU7-1**

**Provide the highest quality public facilities, services, and public infrastructure possible to the community.**

Provide the highest and most efficient level of public services and public infrastructure financially possible.

**Policy LU7-1.1**

Continue the excellent public safety programs, including fire and police protection, currently enjoyed by the City.

*The 222 Kansas Street development will be required to pay police and fire mitigation fees which will fund the public safety programs.*

**Policy LU7-1.2**

No new development shall be allowed unless adequate public facilities are in place or provided for.

*The 222 Kansas Street development will be required to install any needed public facilities.*

**Policy LU7-1.4**

Storm drain and flood control facilities shall be maintained throughout the City to protect residents and structures from an anticipated 50-year flood.

*The 222 Kansas Street development includes an on-site retention system.*

**Policy LU7-1.5**

The adequacy of library services should be monitored annually and

maintained.

*The 222 Kansas Street project will be required to pay a Library Service mitigation fee to help maintain the library.*

**Objective LU7-2**

Promote City appearance and cultural heritage programs.

**Policy LU7-2.3**

All new development shall place utilities underground.

*The 222 Kansas Street development shall have utilities placed underground within the Project Site.*

**CIRCULATION ELEMENT**

**Goal C1: Provision for a Safe, Convenient, and Cost Effective Circulation System**

**Provide a safe, convenient, and cost-effective circulation system to serve the present and future circulation needs of the El Segundo Community.**

**Objective C-1**

Provide a roadway system that accommodates the City's existing and project land use and circulation needs.

**Policy C1-1.9**

Provide all residential, commercial, and industrial areas with efficient and safe access for emergency vehicles.

*All driveways in the 222 Kansas Street Specific Plan will be designed to allow safe access for emergency vehicles.*

**Policy C1-1.14**

Require a full evaluation of potential traffic impacts associated with proposed new developments prior to project approval. Further require the implementation of appropriate mitigation measures prior to, or in conjunction with, project development. Mitigation measures may include new roadway links on segments that would

connect new development to the existing roadway system, intersection improvements, and other measures. Mitigation measures shall be provided by or paid for by the project developer.

*A traffic analysis will be required as part of the environmental review of the 222 Kansas Street Specific Plan project. The applicant will comply with and pay for all required mitigation measures.*

#### **Policy C1-1.15**

Pursue and protect adequate right-of-way to accommodate future circulation system improvements.

*The 222 Kansas Street development will provide for a dedication of street frontage on Grand Avenue (10 feet plus an irrevocable offer of dedication for an additional 9 feet), on Kansas Street (5 feet) and Franklin Avenue (5 feet).*

#### **Policy C1-1.16**

Encourage the widening of substandard streets and alleys to meet City standards wherever feasible.

*The 222 Kansas Street development will provide for a dedication of street frontage on Grand Avenue (10 feet plus an irrevocable offer of dedication for an additional 9 feet), on Kansas Street (5 feet) and Franklin Avenue (5 feet).*

### **Goal C2: Provisions for Alternative Modes of Transportation**

**Provide a circulation system that incorporates alternatives to the single-occupant vehicle, to create a balance among travel modes based on travel needs, costs, social values, user acceptance, and air quality considerations.**

#### **Objective C2-2**

Provide a bikeway system throughout the City to support and encourage the use of the bicycle as a safe and convenient travel mode with the City's circulation system.

### **Policy C2-2.2**

Encourage new development to provide facilities for bicyclists to park and store their bicycles and provide shower and clothes changing facilities at or close to the bicyclist's work destination.

*Bicycle racks will be provided as part of the 222 Kansas Street development. Other TDM measures may be required depending on the size of the development.*

### **Goal C3: Development of Circulation Policies that are Consistent with other City Policies**

**Develop a balanced General Plan, coordinating the Circulation Element with all other Elements, ensuring that the City's decision making and planning activities are consistent among all City departments.**

#### **Objective C3-1**

Ensure that potential circulation system impacts are considered when the City's decision makers and staff are evaluating land use changes.

#### **Policy C3-1.1**

Require all new development to mitigate project-related impacts on the existing and future circulation system such that all Master Plan roadways and intersections are upgraded and maintained at acceptable levels of service through implementation of all applicable Circulation Element policies. Mitigation measures shall be provided by or paid for by the project developer.

*A traffic analysis will be completed as part of the environmental review for the project and the developer will construct any needed mitigation measures. Additionally, the developer is dedicating 10 feet along Grand Avenue with an additional 9 feet irrevocable offer of dedication; Grand Avenue is listed as a secondary arterial in the City's Master Plan of Streets.*

#### **Objective C3-2**

Ensure the consideration of the impacts of land use decisions on the City's parking situation.

#### **Policy C3-2.1**

Ensure the provision of sufficient on-site parking in all new development.

*The 222 Kansas Street Specific Plan will require that sufficient on-site parking be provided.*

## **CONSERVATION ELEMENT**

### **Goal CN2: Water Supply**

**Assist in the maintenance of a safe and sufficient water supply and distribution system that provides for all the water needs within the community.**

#### **Policy CN2-5**

Require new construction and development to install water-conserving fixtures and appliances to reduce the amount of new demand.

*The development in the 222 Kansas Street Specific Plan area will comply with all requirements of Title 24 of the Building Code which requires water-conserving fixtures.*

#### **Policy CN2-7**

Require new construction and development to incorporate the principles and practices of sound landscape design and management, particularly those conserving water and energy.

*The development in the 222 Kansas Street Specific Plan area will comply with the water conservation in landscaping requirements set forth in Chapter 10-2 of the ESMC. Additionally, the development will be built to LEED Certified standards.*

## **AIR QUALITY ELEMENT**

### **Goal AQ10: Reduction in Particulate Emissions from Paved and Unpaved Roads, Parking Lots, and Road and Building Construction**

**Objective AQ10-1**

Control particulate emissions by paving roads and parking lots or by adopting alternative methods to control particulates.

**Policy AQ10-1.3**

It is the policy of the City of El Segundo that all new development projects meet or exceed requirements of the South Coast Air Quality Management District for reducing PM10 standards.

*Development in the 222 Kansas Street Specific Plan will meet all SCAQMD requirements for reducing PM 10 standards.*

**NOISE ELEMENT**

**Goal N1: Provision of a Noise-Safe Environment**

**Encourage a high quality environment within all parts of the City of El Segundo where the public's health, safety, and welfare are not adversely affected by excessive noise.**

**Objective N1-1**

It is the objective of the City of El Segundo to ensure that City residents are not exposed to mobile noise levels in excess of the interior and exterior noise standards or the single event noise standards specified in the El Segundo Municipal Code.

**Policy N1-1.9**

Require review of all new development projects in the City for conformance with California Airport Noise Regulations and California Noise Insulation Standards (CCR Title 24) to ensure interior noise will not exceed acceptable levels.

*Development in the 222 Kansas Street project will meet all Title 24 requirements and will not exceed acceptable levels of interior noise.*

**Objective N1-2**

It is the objective of the City of El Segundo to ensure that City residents are not exposed to stationary noise levels in excess of El Segundo's Noise Ordinance standards.

### **Policy N1-2.1**

Require all new projects to meet the City's Noise Ordinance Standards as a condition of building permit approval.

#### ***Program N1-2.1A***

Address noise impacts in all environmental documents for discretionary approval projects, to insure that noise sources meet City Noise Ordinance standards. These sources may include: mechanical or electrical equipment, truck loading areas, or outdoor speaker systems.

#### ***Program N1-2.1C***

The City shall strictly enforce the El Segundo Municipal Code's time-dependent noise standards for stationary sources. Two of the major sources which shall be closely monitored are industrial facilities and construction activities.

*Development in the 222 Kansas Street project will be required to meet the City's noise ordinance standards and construction will only be allowed during the hours set forth in the ESMC.*

## **PUBLIC SAFETY ELEMENT**

### **Goal PS1: Geology and Soils**

**Protect the public health and safety and minimize the social and economic impacts associated with geologic hazards.**

#### **Objective PS1-1**

It is the objective of the City of El Segundo to reduce exposure to potentially hazardous geological conditions through land use planning and project review.

#### **Policy PS1-1.1**

Continue to review proposals for new development and for the expansion of existing development in areas of potential geological hazards.

### **Policy PS1-1.2**

Enforce, monitor, and improve development standards which place the responsibility on the developer, with advice from qualified engineers and geologists, to develop and implement adequate mitigation measures as conditions for project approval.

*The environmental review process will cover the topic of geologic hazards and impose any mitigation that may be deemed necessary. Plans will be approved by qualified engineers.*

## **Goal PS2: Faulting and Seismicity/Structural Hazards**

**Minimize injury and loss of life, property damage, and social, cultural and economic impacts caused by earthquake hazards.**

### **Objective PS2-1**

It is the objective of the City of El Segundo that the City promote effective response to seismic disasters and maintenance of structurally safe facilities.

#### **Policy PS2-1.1**

Continue to cooperate with and support federal, state, and county agencies in the development and enforcement of regional and local health and safety laws and environmental controls, e.g., implementation of SB 547 (Alquist).

#### ***Program PS2-1.1A***

The City shall continue to enforce the Uniform Building Code.

*The development of the 222 Kansas Street Specific Plan project will comply with all requirements of the most recent edition of the Uniform Building Code, as incorporated into the California Building Code.*

## **Goal PS3: Petroleum Resources/Hazardous Materials and Wastes**

**Reduce threats to public health and safety from hazardous materials, especially threats induced by earthquakes and**



**accidental leaks and spills.**

**Objective PS3-1**

It is the objective of the City of El Segundo that the City insure safe and prudent use of hazardous materials, and reduce the quantity of hazardous materials handled within the City.

**Policy PS3-1.1**

Review proposed development projects involving the use, storage, and disposal of hazardous materials with the intent of minimizing the probability and magnitude of a hazardous event.

*An analysis of hazards and hazardous materials will be part of the environmental review process and the developer will comply with all mitigation measures, including those pertaining to the operation of the temporarily capped oil well.*

**Goal PS6: Urban Fire Hazard**

**A fire safe community.**

**Objective PS6-1**

It is the objective of the City of El Segundo that the City minimize threats to public safety and protect property from wildland and urban fires.

**Policy PS6-1.1**

Review projects and development proposals, and upgrade fire prevention standards and mitigation measures in areas of high urban fire hazard.

*The 222 Kansas Street Specific Plan development will be built in accordance with the most recent fire code standards.*

# 222 Kansas Street Specific Plan

