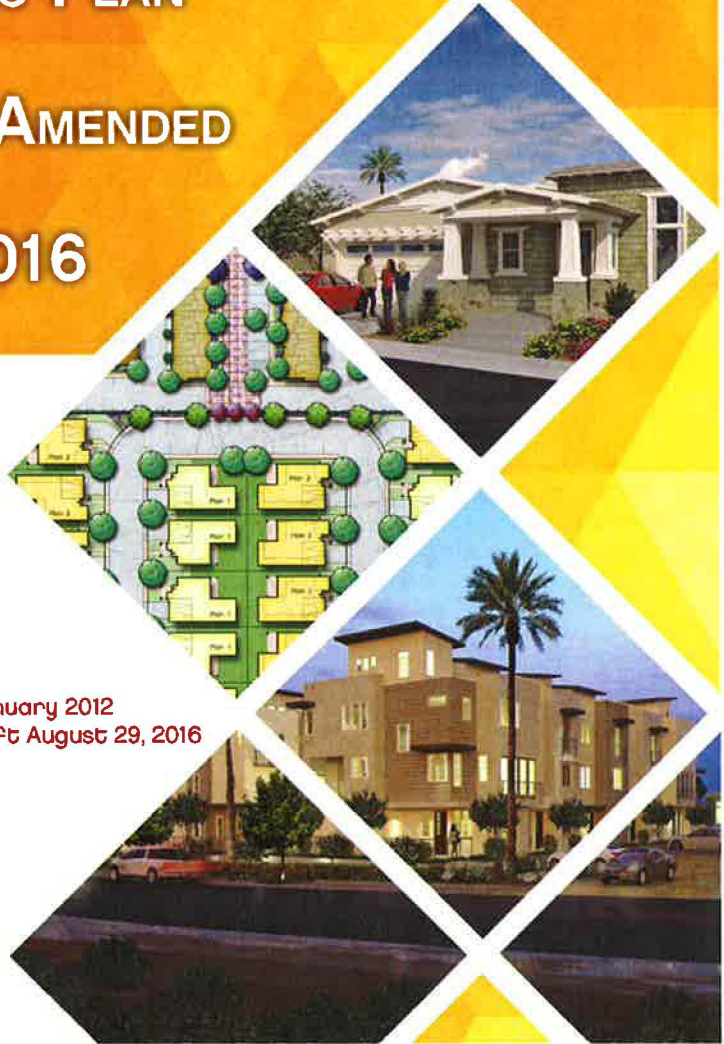


540 East Imperial Avenue

SPECIFIC PLAN

AS AMENDED

SEPTEMBER 2016



Adopted January 2012
Revised Draft August 29, 2016

1.0 SUMMARY

This Specific Plan was prepared to provide guidance and to allow flexibility when developing a 5.68-acre parcel located on a former El Segundo School District Site at 540 East Imperial Avenue (the "Project Site") consistent with the adjoining uses.

Under this Specific Plan, there are two options for development a Senior Housing Community/Multi-Family Residential Option (Option 1 and described on page 6) and a Mixed Residential Development Option (Option 2) described here. Option 2 includes a maximum of twenty-four (24) single-family and thirty-four (34) multi-family units accessed by private streets. The multiple-family units will front East Imperial Avenue on the northern portion of the Project Site. The single-family residences will be located to the south of the multiple-family units and will take access from East Walnut Avenue. The Mixed Residential development will be of similar scale to the existing development in the area. The architectural styles will be Contemporary for the multi-family townhomes adjacent to Imperial Avenue and a mixture of Contemporary and Arts and Crafts for the single family homes. Refer to Exhibits 1 and 2.



Exhibit 1 - Front Elevation of Multifamily Building



Exhibit 2 - Single-Family Streetscene

Detailed text and exhibits which more fully describe the conceptual options and improvements envisioned for construction are included in this Specific Plan. The Specific Plan will guide the build-out of the Project Site in a manner that is consistent with City and State policies and standards and ensures that the Project is developed in a coordinated manner.

1.1 PURPOSE AND AUTHORITY OF SPECIFIC PLAN

The purpose of this Specific Plan is to provide a foundation for the proposed land uses on the subject property through the application of regulations, standards and design guidelines. The 540 East Imperial Avenue Specific Plan provides text and exhibits which describe the proposed land uses and associated guidelines.

This Specific Plan has been adopted in accordance with the provisions of Government Code §§ 65450 through 65457 which grant local governments authority to prepare Specific Plans of development for any area regulated by a General Plan. These sections also identify the required contents of a Specific Plan and mandate consistency with the General Plan.

According to Government Code § 65450, a Specific Plan must include text and a diagram or diagrams which specify all of the following in detail:

- The distribution, location, and extent of the uses of land, including open space within the area covered by the plan.

- The proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the land area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects and financing measures necessary to carry out the above items.
- A discussion of the relationship of the Specific Plan to the General Plan.

A thorough review of the El Segundo General Plan shows that this Specific Plan is compatible and consistent with the goals and policies outlined in the General Plan. This Specific Plan will further the goals and policies of the General Plan as more fully described below.

This Specific Plan was prepared to provide the essential relationship between the policies of the El Segundo General Plan and actual development in the project area. By functioning as a regulatory document, the 540 East Imperial Avenue Specific Plan provides a means of implementing and detailing the City of El Segundo's General Plan. All future development plans and entitlements within the Specific Plan boundaries must be consistent with the standards set forth in this document.

1.2 PROJECT GOALS

The goal of this Specific Plan is to develop housing within the City of El Segundo which will help the City achieve its Regional Housing Needs Allocation, including the opportunity to develop affordable housing.

1.3 PROJECT LOCATION AND ADJACENT LAND USES

Regionally, the Project Site is located in the northwest quadrant of the City of El Segundo, adjacent to the City's northern border along Imperial Avenue. The Project Site is almost one mile east of Sepulveda Boulevard (Highway 1) and the entrance to the Century Freeway (Interstate 105), approximately 2.4 miles east of the San Diego Freeway (Interstate 405), and immediately south of Los Angeles International Airport (LAX).

Locally, the Project Site is located on the south side of East Imperial Avenue between Sheldon Avenue and McCarthy Court. Immediately to the west of the Project Site on Imperial Avenue is a mortuary in the Neighborhood Commercial (C-2) Zone; single-family residences abut the remainder of the western boundary of the Project Site. Immediately to the east of the Project Site are R3 lots with multi-family residences; and single-family residences lie at the southeastern property line. The Project Site borders R-3 with multi-family residences on the southern property line refer to Exhibit 3.



Exhibit 3 - Project Site and Adjacent Land Uses

1.4 PROJECT SITE HISTORY

The 5.68-acre Project Site comprises six (6) lots and is currently developed with the Imperial Avenue Elementary School. The elementary school was built in 1956. Because of declining enrollment in the El Segundo Unified School District (ESUSD), the school campus was closed in 1975 and in 1979 was declared Surplus Property by ESUSD. In 1984, it was used as an employee training facility for the Hughes Aircraft Company. In 1997, the school campus was re-opened under a lease to the Los Angeles Unified School District (LAUSD) as a special needs school, but was closed again a few years later. In 2007, the ESUSD Board of Education established a 7-11 Surplus Property Committee to determine what should be done with the site. The Committee work developed in three phases: information gathering; public input; and discussion. Based on the Committee's work in 2009, the District began the process to entitle the site for development.

In September 2010, the District applied for various land use entitlements that would allow the site to be developed with a Senior Housing Community. In November 2010, the District revised its applications to provide for the option of building either a Senior Housing Community or a Mixed Residential development.

Before approving this Specific Plan and other related applications, the General Plan designation and the zoning of the site was Planned Residential Development (PRD) which allowed a maximum of 29 single-family units and 36 multi-family units to be built on the entire 5.68 acre site. The change of both the General Plan and zoning to 540 East Imperial Avenue Specific Plan allows for either option (discussed above) to be developed.

1.5 EXISTING SITE

The proposed Project Site is currently developed with eight (8) single-story structures (totaling 22,488 square feet) that served as administrative offices and classrooms. Existing structures at the Project Site extend from the northern to the southern portion of the site, along the eastern property line. Development on the Project Site also includes open space and recreational facilities in the form of playground equipment and an approximately 0.50-acre baseball field on the west-northwest portion of the property. Several scattered trees line the western portion of the project site with ground cover near the baseball field. Generally, the project site slopes from a high point at the northwest corner of the site, along East Imperial Avenue, to a low point at the southeast corner of the site along Walnut Avenue. The site is graded into two pads with a 2:1 slope separating them. The overall slope of the site from northwest to southeast is roughly 5 percent. Impervious surfaces on the site consist of asphalt parking areas and building roofs. Pervious surfaces on the proposed Project Site consist of open space and a ball field.

The Specific Plan area will encompass the entire 5.68-acre site.

1.6 CEQA COMPLIANCE

In compliance with CEQA, an EIR was prepared for this Project. The EIR analyzed two separate Options: a Senior Housing Community consisting of 150 assisted living units and 150 senior apartments/townhomes with four townhomes built on the southern portion of the property; and a mixed residential development consisting of 24 single-family homes and 34 multi-family homes.

In accordance with Government Code § 65457, any residential development that is developed consistent with this Specific Plan is exempt from further CEQA analysis unless an event specified in Public Resources Code § 21166 occurs as to the Specific Plan.

1.7 PROJECT DESCRIPTION

The 540 East Imperial Avenue site will be developed in substantial conformance with one of the Options described below.

Senior Housing Community/Multi-Family Residential (R-3) Option (Specific Plan Option 1)

The Senior Housing Community/Multi-Family Residential (R-3) Option (Specific Plan Option 1) would consist of the following types of development, with the assisted living and senior residential both restricted to individuals fifty-five (55) years or older:

- On 5.35 acres: an assisted living development consisting of dwelling units made up of: assisted and/or independent living units which will provide common facilities such as a common kitchen and dining room, game playing area, library, exercise room, pool and restrooms, as well as individual kitchenettes which at a minimum will include a refrigerator, sink and microwave; and a senior residential development consisting of apartments and/or condominiums. The development would include a maximum of 150 assisted/independent living units and 150 senior apartments/townhomes.
- The southern 0.33 acres of the Project Site which fronts on Walnut Avenue would be developed under Multi-Family Residential (R-3) standards. Four (4) townhomes would be built on the remaining 0.33-acre parcel, located at the southern end of the Project Site.

While the four townhomes are part of the 540 East Imperial Avenue Specific Plan development, they would be re-zoned and developed separately from the larger assisted/independent living complex and senior apartments/townhomes, pursuant to the Multi-Family Residential (R-3) development standards.

Mixed Residential Development Option (Specific Plan Option 2)

Under the Mixed Residential Development Option (Specific Plan Option 2) the property would be developed with a maximum of twenty-four (24) single-family and thirty-four (34) multi-family units on private streets. The multiple-family units would front East Imperial Avenue on the northern portion of the Project Site. The single-family residences would be located on the southern portion of the Project Site.

1.8 ENTITLEMENTS

The following entitlements were granted in January 2012 in conjunction with this Specific Plan.

- A General Plan Amendment changed the land use designation from Planned Residential Development (PRD) to 540 East Imperial Avenue Specific Plan.
- Zone Text Amendment: 1) deleted the Planned Residential (PRD) Zone from El Segundo Municipal Code (“ESMC”) § 15-3-1; 2) added 540 East Imperial Avenue Specific Plan to ESMC § 15-3-1; 3) added a new ESMC § 15-3-2(A)(7) “540 East Imperial Avenue Specific Plan”; and 4) deleted ESMC Chapter 15-4D (Planned Residential Development (PRD) in its entirety.
- Map Zone Change from Planned Residential Development (PRD) to 540 East Avenue Imperial Specific Plan.
- Development Agreement between the City of El Segundo and the El Segundo Unified School District.
- Vesting Tentative Map No. 71410 - dividing the Specific Plan Area into seven (7) new parcels or Vesting Tentative Map No. 71582 dividing the Specific Plan Area into thirty one (31) new parcels.
- As part of the Amendment (September 2016), the Specific Plan Area will be divided into twenty five (25) parcels as shown on Amended Vesting Tentative Map No. 71410.

2.0 CONSISTENCY WITH THE GENERAL PLAN

Government Code § 65454 requires that the Specific Plan be consistent with the General Plan. Government Code § 65451 requires a statement of relationship between the Specific Plan and the General Plan. As documented by the EIR certified on March 20, 2012, and the subsequent addendum (September 2016), the Specific Plan is consistent with the General Plan. The two elements that are most related to the Project are the Land Use Element and the Housing Element; the consistency with these two elements is discussed below.

2.1 LAND USE ELEMENT

The City amended the General Plan designation and zoning of the Project Site to 540 East Imperial Avenue Specific Plan to allow the development options set forth in this Specific Plan of either a Senior Housing Community with a multi-family component or a Mixed Residential development. The Senior Housing Community/Multi-Family Residential (R-3) Option (Option 1) may consist of an Assisted Living development and/or a Senior Residential development. Although the Senior Housing Community would allow the opportunity for more development than the previous zoning, senior housing does not generate significant noise, traffic or other impacts that would be detrimental to neighboring residential uses. Due to the size and slope of the property, the Senior Housing Community would be designed in such a way so as to minimize the visual impacts on the surrounding residential uses.

The Specific Plan also provides that the Mixed Development Option (Option 2) will be limited to not more than twenty-four (24) single-family units and not more than thirty-four (34) multi-family units. This is very similar to what was previously allowed and therefore this use remains consistent with the General Plan Land Use Element. The Specific Plan allows design flexibility that considers the surrounding residential uses and continues to protect one of the City's greatest attributes, its residential area.

More specifically, the Specific Plan promotes the following from the Land Use Element of the City's General Plan:

- **Goal LU3: Proper Distribution of Residential Land Uses** – Promote the health, safety and well being of the people of El Segundo by adopting standards for the proper balance, relationship, and distribution of the residential land uses.
- **Objective LU3-2** – Preserve and maintain the City's low-medium density residential nature, with low building height profile and character, and minimum development standards.
 - **Policy LU3-2.1** - Promote construction of high quality Multi-Family Residential developments with ample open space, leisure and recreational facilities.
 - **Policy LU3-2.2** - Multi-family developments will be located only in appropriate places and evaluated carefully to insure that these developments are not detrimental to the existing single-family character.

- **Policy LU3-2.3** - Appropriate buffers such as walls, landscaping, or open space, shall be provided between residential and non-residential uses.
- **Policy LU3-2.4** - Low density areas shall be preserved and zone changes to higher density shall be carefully investigated for compatibility to existing uses.

2.2 HOUSING ELEMENT

In November 2013, the City adopted the most current version of its Housing Element which recognizes the Project Site as an underutilized site, development of which will help satisfy the City's housing needs. More specifically the Specific Plan implements the following goals of the Housing Element (as adopted in 2013):

- **Goal 2:** Provide sufficient new, affordable housing opportunities in the City to meet the needs of groups with special requirements, including the needs of lower and moderate-income households.
 - **Policy 2.1-** Establish and maintain land use controls to accommodate the housing needs of elderly, disabled and other special needs households.
 - **Policy 2.2** - Facilitate the creation of affordable home ownership opportunities for extremely low, very low and low income households.
- **Goal 3:** Provide opportunities for new housing construction in a variety of locations and a variety of densities in accordance with the land use designations and policies in the Land Use Element.
 - **Policy 3.1** – Provide for the construction of 69 new housing units during the 2014-2021 planning period in order to meet the goals of the Regional Housing Needs Assessment (RHNA) per the 2013 Housing Element.
 - **Policy 3.3** – Permit vacant and underdeveloped property designated as residential to develop with a diversity of types, prices and tenure.
 - **Policy 3.4** – Encourage new housing to be developed within the Smoky Hollow Mixed-Use district, and on the Imperial School site.

3.0 PHYSICAL DEVELOPMENT

3.1 CIRCULATION

Senior Housing Community/Multi-Family Residential (R-3) Option (Option 1)

In order to reduce traffic impacts along Walnut Avenue, a 0.33 acre lot on the southerly side of the Project Site will be created for multi-family housing which will be physically separated from the rest of the Project Site. Access to the remaining 5.35 acres, which will house the Senior Housing Community, will be via two driveways on East Imperial Avenue which will provide circulation and emergency access throughout that portion of the Project Site.

Mixed Residential Development Option (Option 2)

The Mixed Residential Development includes one 24-foot-wide two-way driveway along Imperial Avenue to serve the 34 multi-family units. An internal drive aisle would provide access to public parking areas or multi-family garages. A two-way private street would be provided at the southeast corner of the site, connecting to Walnut Avenue, to provide direct access for the 24 single-family residential units. An internal 32-foot-wide private loop-street would provide access to the private single-family garages. No vehicular access would be provided between the multiple-family residential and the single-family residential uses located on the northern and southern portions of the Project Site, respectively which will minimize traffic impacts on the surrounding streets. The circulation system will be developed so as to be adequate for emergency vehicles.

Bus stops are located on Imperial Highway directly north of the proposed Project Site, on Sepulveda Boulevard located approximately 0.82 mile east of the proposed Project Site, on Grand Avenue located approximately 0.80 mile south of the proposed Project Site, and on Main Street located approximately 0.32 mile west of the proposed Project Site. The City of Redondo Beach; Beach Cities Transit Line 109; the Los Angeles County Metropolitan Transportation Authority (MTA) Lines 125, 232, and 625; the Municipal Area Express (MAX) Lines 2, 3, and 3X; the Los Angeles Department of Transportation Commuter Express (CE) Lines 574 and 438; and the Gardena Municipal Bus Line currently serve the proposed Project Site.

3.2 UTILITIES AND INFRASTRUCTURE

A. Water Service

Water service is provided by the City of El Segundo and is currently available within the Specific Plan area. The site is currently served by connections to an existing 6-inch diameter main in Walnut Avenue and 10-inch main in Imperial Avenue. The Project would maintain these connections to provide a loop system between Imperial and Walnut Avenues to provide for on-site domestic and fire water services.

B. Sewer Service

Sewer service within the Project Site, which is west of Sepulveda Boulevard, is provided by underground sewers maintained by the City of El Segundo. The site is currently served by an 8-inch sewer running along the easterly property line, which drains to an

existing 8-inch main in Walnut Avenue. The Project would continue to drain to Walnut Avenue. Wastewater would be treated at the Hyperion Sewage Treatment Plant (HTP) which has capacity to treat the wastewater generated at the Project Site.

C. Solid Waste Disposal

Solid waste disposal is provided to commercial users by a variety of private haulers and to residential users by Consolidated Waste Disposal. Landfill capacity is adequate for the assumed population and commercial growth within Los Angeles County. The 540 East Imperial Avenue Specific Plan would not exceed any assumptions for either population or commercial growth in the region.

D. Gas Service

Gas service is provided by Southern California Gas Company. A 2-inch service line is available in Walnut Avenue.

E. Electric/Telephone and Cable Service

Electric service is provided by Southern California Edison. Telephone service is provided by AT&T, Verizon and Sprint via existing lines in adjacent streets and cable service is provided by Time Warner Cable, Direct TV and Dish Network.

F. Fire Suppression

The El Segundo Fire Department (ESFD) provides fire protection services and emergency medical service to the City. The Specific Plan area is approximately 1 mile from Station 1 located at 314 Main Street in Downtown El Segundo and approximately 1.8 miles from Fire Station 2 located at 2261 Mariposa Avenue. Water for fire suppression is available from existing water lines via hydrants adjacent to the Project Site. Private hydrants will be installed if required to provide coverage for approved structures. Applicable fire services development impact fees will be paid at the time of building permit issuance.

G. Police Services

The El Segundo Police Department provides police protection services to the City. The Specific Plan area is approximately 1 mile from the police station located at 348 Main Street. Applicable police services development impact fees will be paid at the time of building permit issuance.

H. Drainage

Stormwater runoff would be conveyed via storm drains to a underground retention facility within the right-of-way (access easement near Walnut. A sump exists between the eastern border of the proposed project and McCarthy Court. Existing 27-inch and 24-inch storm drains connect from the sump to the 18-inch storm drain along McCarthy Court. In addition, the proposed project site would be served by existing 18-inch storm drains along Walnut Avenue. All construction activities must comply with National Pollution Discharge Elimination System (NPDES) requirements. This would include the preparation of a Stormwater Pollution Prevention Plan (SWPPP) incorporating Best

Management Practices (BMPs) for construction-related control of erosion and sedimentation contained in stormwater runoff.

I. Schools

The Project Site is located within the ESUSD. As part of the City's permitting process, a school fee will be paid to the District prior to the City's issuance of building permits.

J. Parks

Applicable park development impact fees will be paid at the time of building permit issuance.

K. Library Services

Applicable library development impact fees will be paid at the time of building permit issuance.

4.0 LAND USE AND DEVELOPMENT STANDARDS

4.1 DISTRIBUTION AND LOCATION OF LAND USE

SENIOR HOUSING COMMUNITY/MULTI-FAMILY RESIDENTIAL (R-3) OPTION (OPTION 1)

Under this option, the southern 0.33 acre "tail" of the property which fronts on Walnut Avenue will be developed in accordance with the provisions of the R-3 (multi-family) zone and will be physically separated from the remainder of the Project Site.

There are two types of housing that will be developed under the Senior Housing Community: Assisted Living and Senior Residential which may be placed on the remaining 5.35 acres in substantial conformance with the approved concept site plan provided that the overall development does not exceed the total square footage and FAR set forth below and meets all of the other Development Standards set forth in Section 4.2.

The following graphical depiction provides a concept for the Senior Housing Community with Senior Housing that provides for 150 assisted and/or independent living units on the northern portion of the Project Site and 150 Senior Dwellings on the southern portion of the Project Site. The 0.33 acre R-3 (multi-family) "tail" piece is also shown (Exhibit 4). This concept may be modified in accordance with the procedures for minor and major modifications set forth in Section 4.3 below.

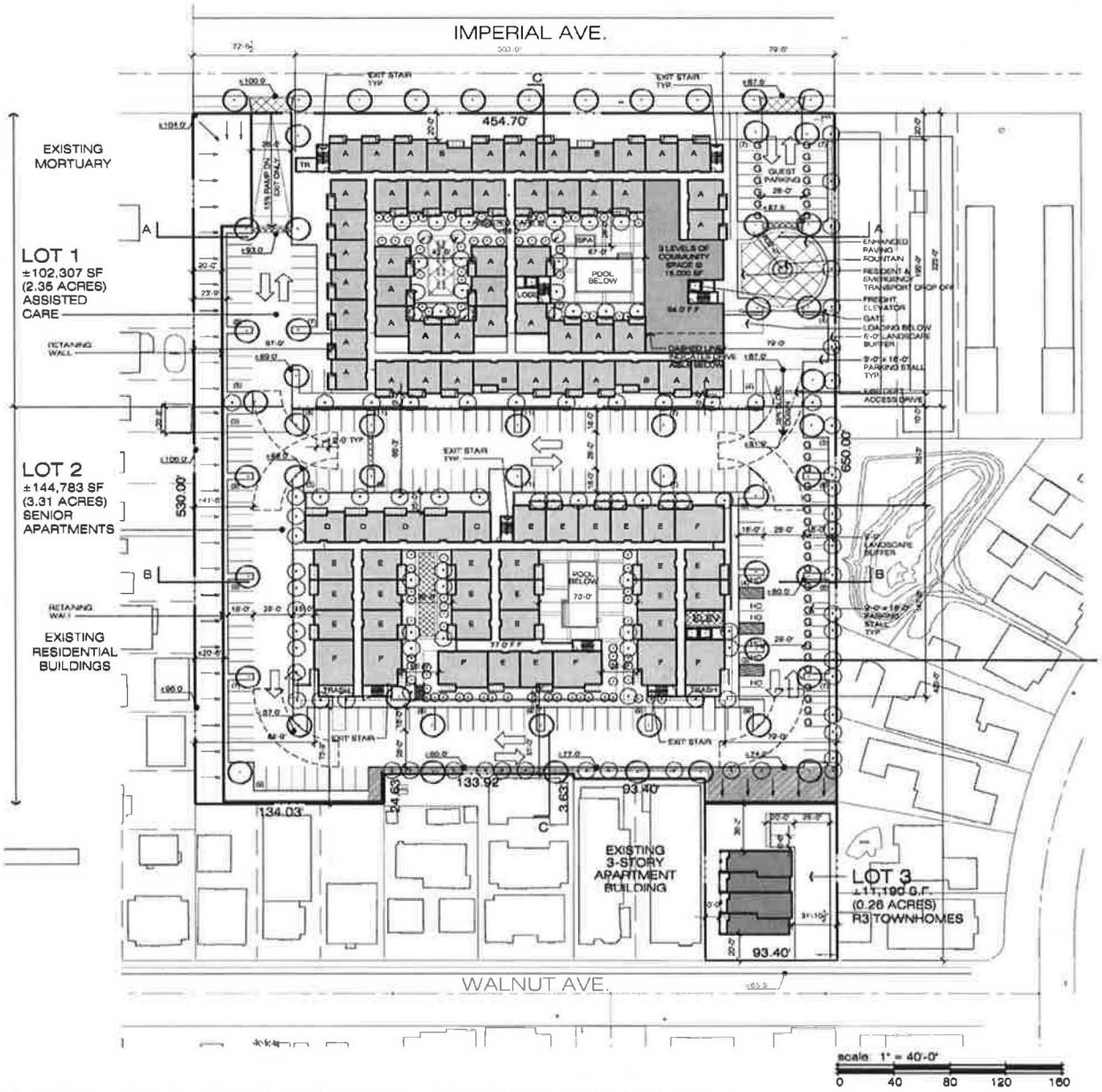


Exhibit 4 - Senior Housing Community/Multi-Family (R-3) Option 1

MIXED RESIDENTIAL DEVELOPMENT OPTION (OPTION 2)

Under this development option, multi-family development will front on East Imperial Avenue. The remainder of the property to the south would be developed with single-family lots that would be accessed from Walnut Avenue.

Exhibit 5 - Mixed Residential Unit Development Option 2 provides a concept of the Mixed Residential Unit Development. This concept may be modified in accordance with the procedures for minor and major modifications set forth in Section 4.3 below.

4.2 DEVELOPMENT STANDARDS

Except as otherwise provided, this Specific Plan must be administered pursuant to the ESMC. The development standards set forth herein for both development options are intended to provide flexibility in the development while providing consistency with adjacent uses.

Where this Specific Plan does not specifically regulate, development must comply with the ESMC.



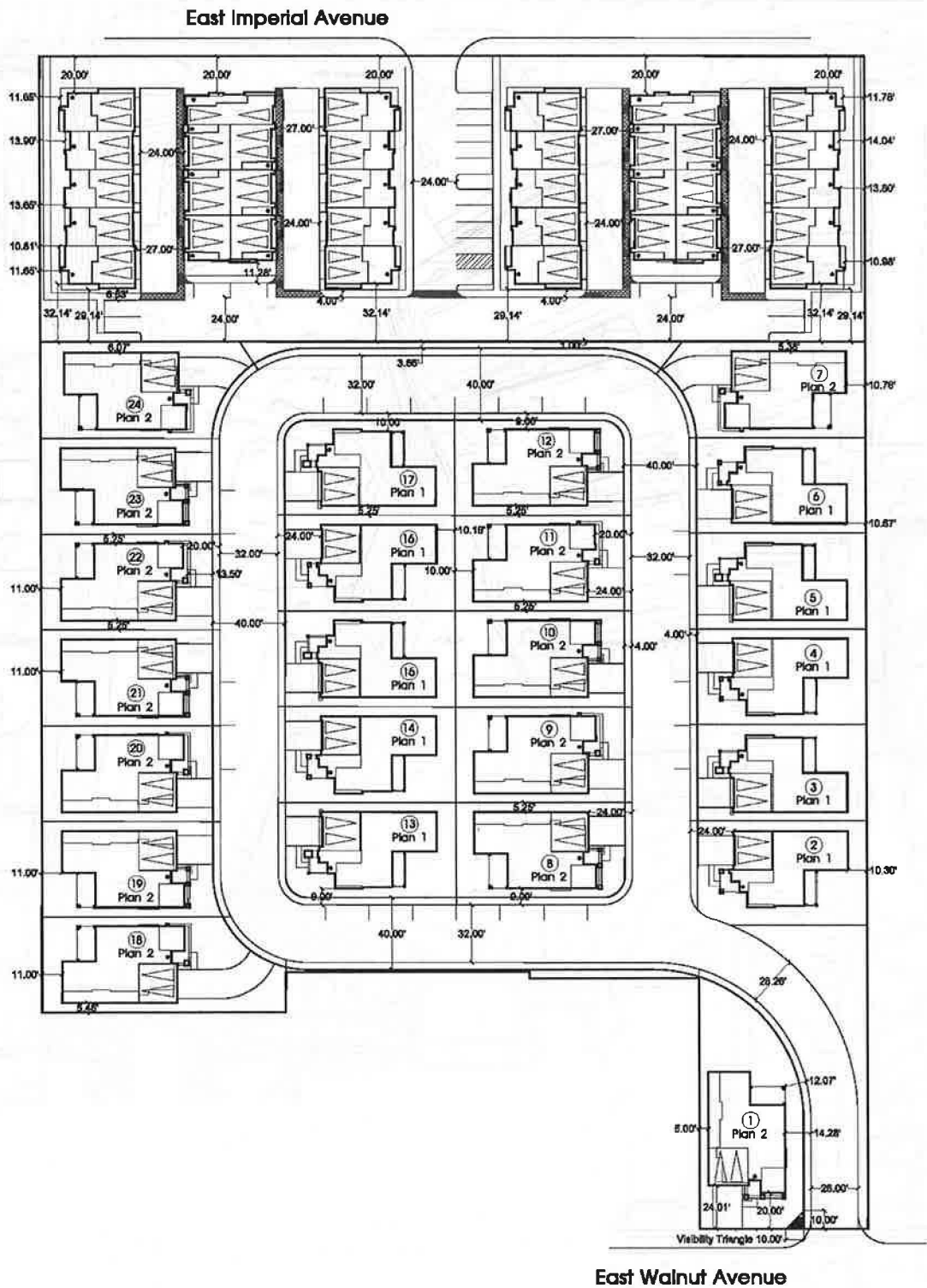


Exhibit 5 - Mixed Residential Unit Development Option 2

AFFORDABILITY

The City of El Segundo 2013 Housing Element identified a need for affordable housing to provide for low- and moderate income first-time homebuyers, senior citizens on fixed incomes, extremely low-, very low-, low-, and moderate-income residents, the disabled, military personnel, and the homeless segments of the population. As envisioned in the element and based on that need, for Option 1, fifteen (15) percent of the total units will be set aside as affordable units; for Option 2, ten (10) percent of the total units will be set aside as affordable units. Based on the Regional Housing Needs Assessment (RHNA), El Segundo is required to provide 69 additional housing units during the current housing cycle (2013-2021). The allocation of the 69 units is broken down into five categories as follows: 9 extremely low income households, 9 very low income households, 11 low income households, 12 moderate income households, and 28 above moderate income households.

The units in this project will be used to meet a portion of the need in the extremely low, very low, and low income household category which represent a proportional total of 31 percent, 31 percent, and 38 percent respectively, of the total RHNA allocation for the lower income categories (29 units). These same percentages were applied to the unit totals for this project. Thus, if 304 units are built under Option 1, a total of 46 units would be required as follows: 14 units (31% of the total 15%) for the extremely low income senior household category; 14 units (31% of the total 15%) for the very low income senior household category; and 18 units (38% of the total 15%) for the low income senior household category to be split equally between the assisted living and townhome/apartment units. If all 58 units are built under Option 2, a total of 6 units comprised of 2 units in each income category would be required (extremely low – 31% of the total 10%; very low – 31% of the total 10%; and low – 38% of the total 10%). The Developer must still provide 15% set aside for the total number of units constructed for Option 1 and 10% set aside for the total number of units constructed for Option 2 should fewer units than the maximum allowed be constructed. The units must be distributed in the same percentage ratios as specified above in the low, very low, and extremely low income categories. Percentages for the total number of units and for each income category must be calculated by rounding to the nearest whole number not to exceed the maximum required percentage. Any affordable housing units that are required based on the single-family component of Option 2 may be satisfied by developing the requisite number of units in other components of the project.

The developer must submit an income and verification monitoring plan to the Director of Planning and Building Safety or designee before building permits are issued.

**SENIOR HOUSING COMMUNITY/MULTI-FAMILY RESIDENTIAL (R-3) OPTION
(OPTION 1)**

The southern 0.33 acre "tail" of the Project Site will be developed in accordance with the existing provisions of the Multi-Family Residential (R-3) Zone. The remaining 5.35 acres will be developed in accordance with the following:

A. Permitted Uses

1. Senior Dwellings consisting of apartments or condominiums.
2. Senior Housing consisting of assisted and/or independent living units.
3. Other similar uses approved by the Director of Planning and Building Safety or designee, as provided by ESMC Chapter 15-22.

B. Permitted Accessory Uses

1. Wireless communication facilities subject to ESMC Chapter 15-19.
2. Any use customarily incidental to a permitted use.
3. Other similar uses approved by the Director of Planning and Building Safety or designee, as provided by ESMC Chapter 15-22.

C. Site Development Standards

1. Lot Coverage/Density

The Senior Housing Community development on the 5.35 acre parcel cannot exceed a total of 175,000 square feet combined, with a 0.75 total FAR. The exact mix of housing options is determined through the Site Plan Review application procedure submitted in accordance with the Specific Plan but the development totals cannot exceed the maximum density analyzed in the EIR.

2. Lot Area

The minimum lot area is 15,000 gross square feet.

3. Height

No building or structure can exceed thirty-five (35) feet in height, with the exceptions of parapets and other auxiliary structures that cannot exceed forty-five (45) feet in height.

4. Setbacks

- a. Front Yard along East Imperial Avenue: 20-foot minimum.
- b. Side Yard: 40-foot minimum.
- c. Rear Yard: 40-foot minimum between the southern side of the Specific Plan area and the R-3 uses to the south.
- d. Between Uses: The minimum setback between the Assisted Living on the north and the Senior Residential on the south side of the Specific Plan area is 10 feet to each property line.

5. Lot Frontage

Each Lot must have a minimum frontage on a street of 75 feet.

6. Building Area/Floor Area Ratio (FAR)

The total net floor area of all buildings cannot exceed the total square footage of the property multiplied by 0.75.

7. Off-Street Parking and Loading Spaces

Off-street parking and loading spaces, including parking for employees and visitors must be provided as follows:

Senior Dwellings (Market Rate):

- 1 space per studio/1 bedroom units
- 2 spaces per 2 bedroom units

Senior Dwellings (Affordable):

- 0.5 space per studio/1 bedroom units
- 1 spaces per 2 bedroom units

Senior Housing Assisted Living Units (Market Rate):

- 1 space per 2 units/2 beds

Senior Housing Assisted Living Units (Affordable):

- 1 space per 3 units/3 beds

D. Design Features

Assisted Living facilities will contain the following design features:

- Kitchen
- Dining Room
- Library
- Restrooms
- Exercise Area
- Recreational Facilities consisting of:
 - Game Playing Area
 - Pool
 - Open Space consisting of: landscaped courtyards and other passive recreational areas
 - Within each individual dwelling unit a kitchenette consisting of a minimum of refrigerator, sink and microwave

Senior Residential facilities will contain the following design features:

- Pool
- Community Room
- Lobby
- Mail Room

MIXED RESIDENTIAL DEVELOPMENT OPTION (OPTION 2)

A. Permitted Uses

1. Single-family units and/or multi-family housing units consisting of apartments, townhomes, or condominiums.
2. Other similar uses approved by the Director of Planning and Building Safety or designee, as provided by ESMC Chapter 15-22.

B. Permitted Accessory Uses

1. Any use customarily incidental to a permitted use.
2. Detached accessory buildings and structures, including private garages.
3. Other similar uses approved by the Director of Planning and Building Safety or designee, as provided by ESMC Chapter 15-22.

C. Site Development Standards

1. Density

The Mixed Unit Development cannot exceed a maximum of twenty-four (24) single-family units and thirty-four (34) multi-family units. The exact mix and layout of housing is determined through the Site Plan Review application procedure submitted in accordance with the Specific Plan.

2. Lot Area

The minimum lot area for single family residential is 5,000 gross square feet.

The minimum lot area for multi-family residential is 7,000 gross square feet.

3. Height

There are substantial grade changes on this site from northwest to southeast, ranging in elevation from 146.5 feet to 107.5 feet, a change in elevation of 39 feet. Some of the buildings have been designed to have "internal" retaining walls within the building. These internal retaining walls range from a 2.8-foot retaining wall on two of the multi-family buildings to a 10-foot internal retaining wall on the Plan 1 single-family home. Refer to Exhibit 6 - Multi-Family Site Cross Section and Exhibit 8 - Single-Family Site Cross Section.

The building heights in this Specific Plan are measured from the finished grade to the average height of a sloped roof, or the highest point of the flat roof as applicable.

a. Multi-Family Homes

Multi-family residential dwelling units shall not exceed thirty-five feet six inches (35'-6") measured from the finished grade to the roof deck as shown in Exhibit 7 - Multi-Family Height Measurement. The parapet may extend a minimum of 42" above the roof deck. Roof structures to house stairway access to the roof deck are allowed per ESMC 15-2-3. Slope of roof on roof structures shall be no greater than shown on Exhibit 1 - Front Elevation of Multifamily Building (page 2). Average height of the sloped roof on the roof structure is forty-five (45') feet not to exceed forty-seven (47') feet at the highest point of the structure.

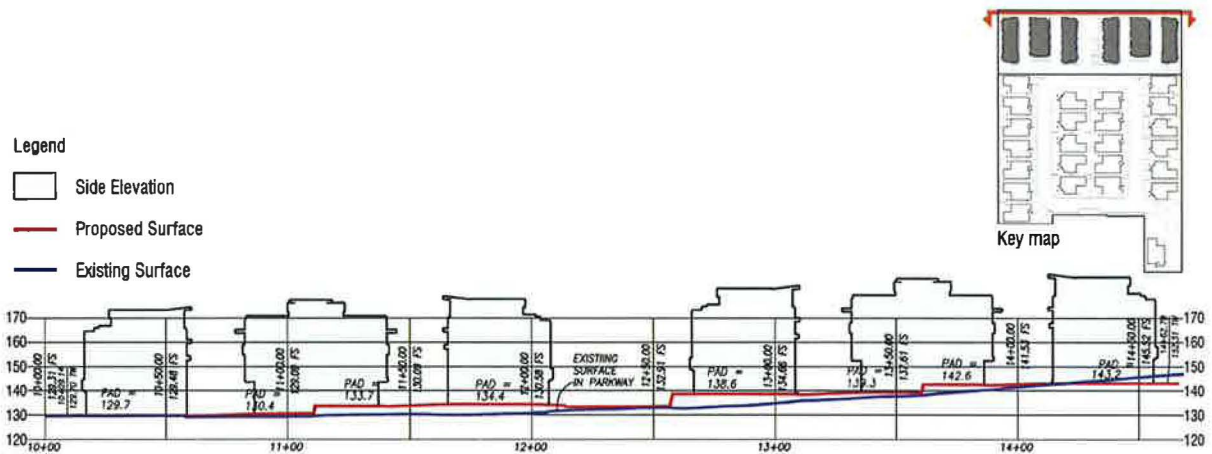


Exhibit 6 - Multi-Family Site Cross Section

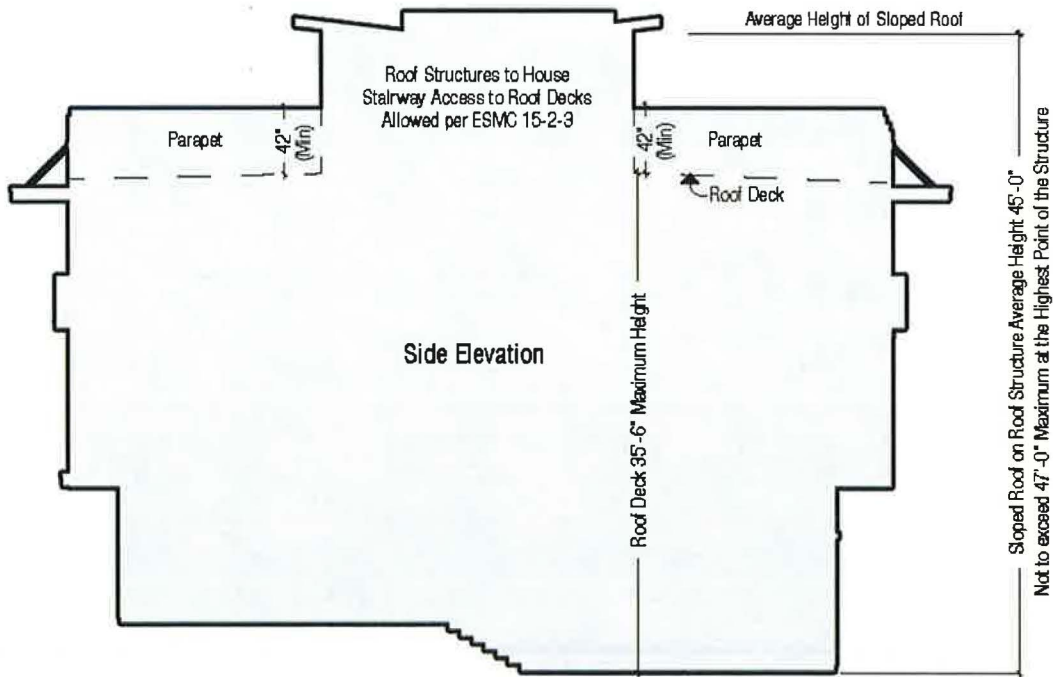


Exhibit 7 - Multi-Family Height Measurement

b. Single-Family Homes - One-Story

A single-family home that is one-story at the front street elevation and maintains that same height to the rear of the home, even though the grade changes, shall be considered a one-story home for the purposes of modulation requirements of this Specific Plan. The maximum one-story height shall be eighteen feet (18') measured at the front elevation as shown in Exhibit 9 - One-Story Single-Family Height Measurement.

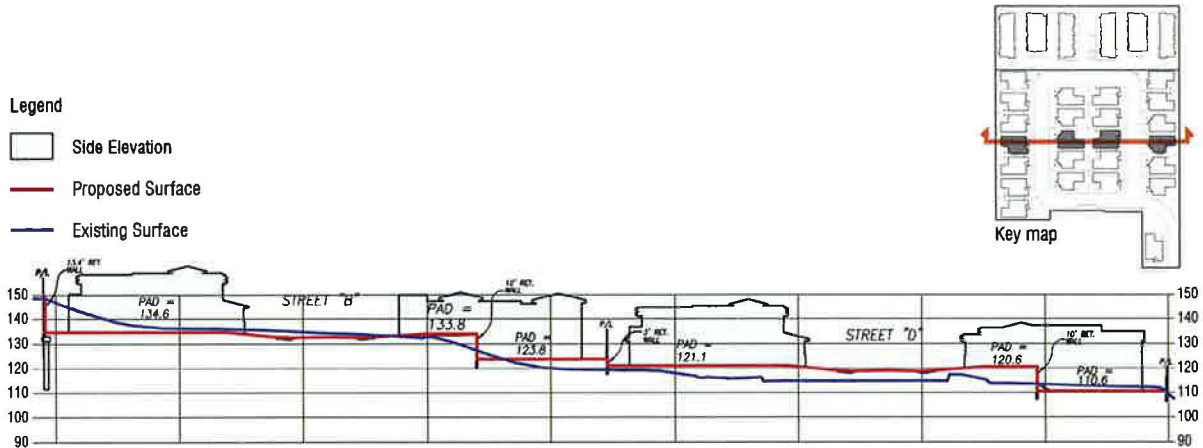


Exhibit 8 - Single-Family Site Cross Section

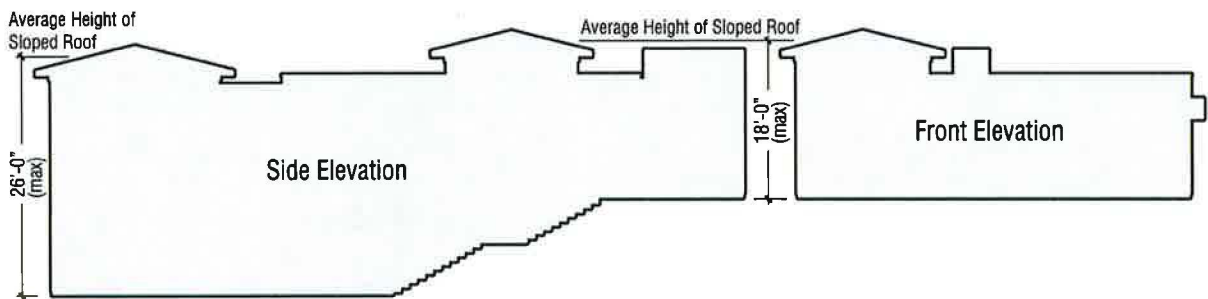


Exhibit 9 - One-Story Single-Family Height Measurement

b. Single-Family Homes - Two-Story

Two-story single-family residential dwelling units shall not exceed twenty-six (26') feet and two stories maximum with the height measured from finished grade to the average of the highest sloped roof as shown in Exhibit 10 - Two-Story Single-Family Height Measurement.

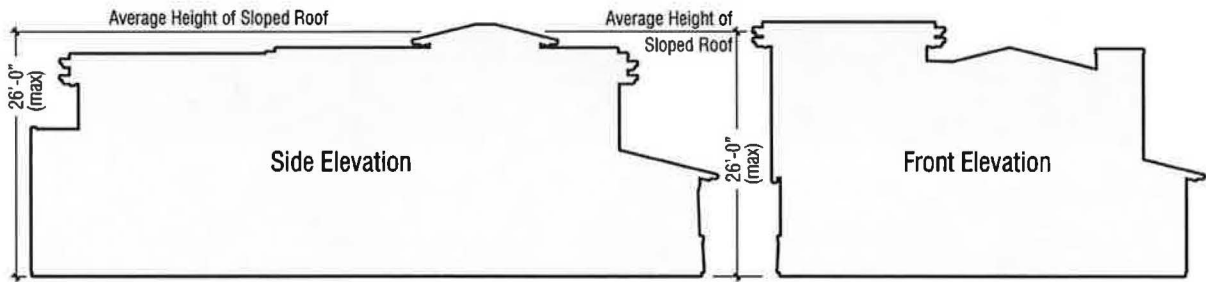


Exhibit 10 - Two-Story Single-Family Height Measurement

4. Setbacks

a. Multi-Family Homes

- (1) Front: The front yard shall maintain a minimum setback of twenty feet (20').
- (2) Side Yard: Structures shall maintain a minimum setback on each side of the lot of ten feet (10').
- (3) Rear Yard (southern property line): Structures shall maintain a minimum setback of twenty-eight feet (28').

b. Single-Family Homes

- (1) Front Yard: All front setbacks are measured from the property line (face of the curb). The front yard setback for living areas shall maintain a minimum setback of twenty feet (20'). Front yard setbacks for a two (2)-car garage shall maintain a minimum setback of twenty-four feet (24') measured from the garage door to the front property line. Porches or verandas not fully enclosed on three (3) sides (railings and/or columns permitted) may encroach four feet (4') into the front setback.
- (2) Side Yard: Structures shall maintain a minimum setback on each side of five feet (5'). Architectural building features, as defined by ESMC 15-1-6, may encroach into the side yard setback a maximum of two feet (2') per ESMC Section 15-2-7.

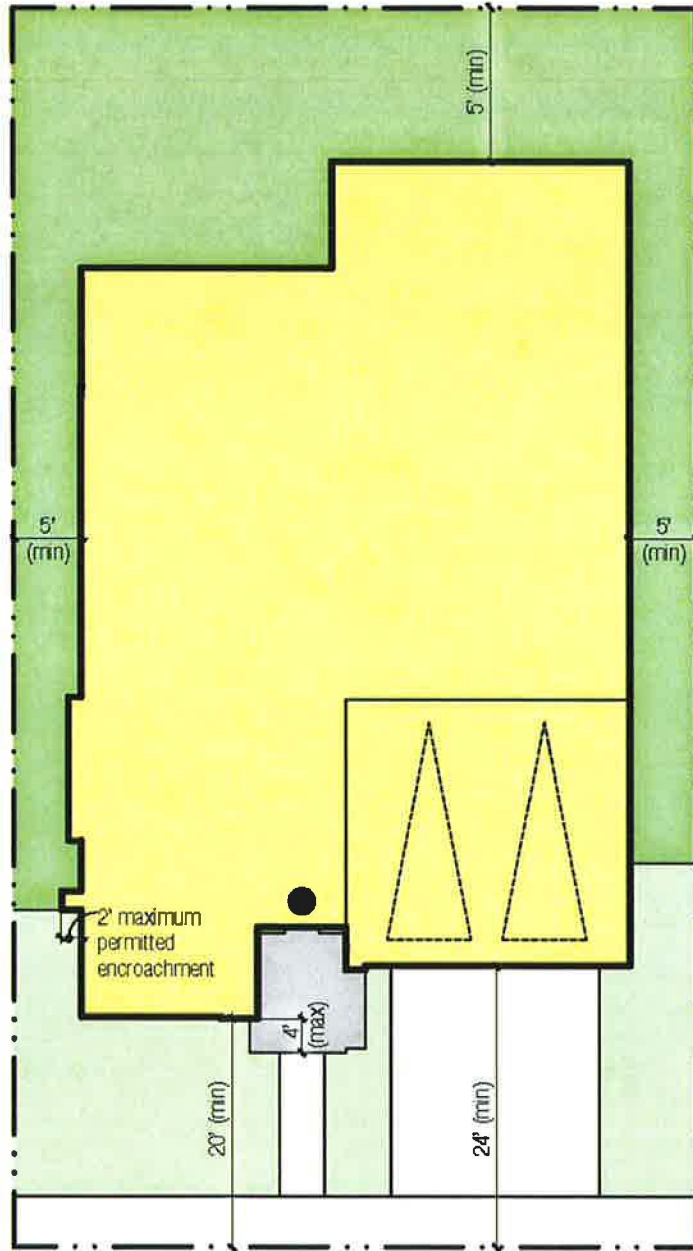
(3) Rear Yard: Structures shall maintain a minimum setback of five feet (5'). Detached accessory structures shall maintain a minimum setback of three feet (3') from the rear property line on the first floor and five feet (5') on the second floor.

c. Property Fronting on Walnut Avenue

1) Front Yard: The front yard setback for living areas shall maintain a minimum setback of twenty feet (20'). Front yard setbacks for a two (2)-car garage shall maintain a minimum setback of twenty-four feet (24') measured from the garage door to the front property line. Porches or verandas not fully enclosed on three (3) sides (railings and/or columns permitted) may encroach four feet (4') into the front setback.

(2) Side Yard: Structures shall maintain a minimum setback of five feet (5') on the west side and twelve (12') feet measured to the property line (face of curb) on the east side. A ten (10') visibility triangle shall be provided at the entry from Walnut Avenue in accordance with the driveway visibility triangle shown on Figure 1 of ESMC Section 15-2-6. Architectural building features, as deemed by ESMC 15-1-6, may encroach into the side yard setback a maximum of two feet (2') per ESMC Section 15-2-7.

(3) Rear Yard: Structures shall maintain a minimum setback of five feet (5'). Detached accessory structures shall maintain a minimum setback of three feet (3') from the rear property line on the first floor and five feet (5') on the second floor.



Projections into the side setback are permitted per ESMC Section 12-2-7

Exhibit 11 - Single-Family Setback Diagram

5. Lot Frontage

Each lot must have a minimum frontage on a street of 50 feet.

6. Building Area/Floor Area Ratio (FAR)

The maximum net floor area permitted for single-family residential buildings is 0.58.

The minimum lot area per dwelling unit for the multi-family residential buildings is 2,112 square feet with a maximum of 34 units (20.7 units per acre).

7. Off-Street Parking Spaces

Each single-family home is provided a two (2)-car garage with minimum interior dimension of twenty feet by twenty feet (20'x20').

Each multi-family home is provided a two (2)-car garage with a minimum interior dimension of twenty feet by twenty feet (20'x20') except for one (1) plan that has two (2) one (1)-bay garages with a minimum interior dimension of ten feet by twenty feet (10'x20') for each space. Eighteen guest parking spaces shall be provided (0.5 parking space per unit with an additional handicapped parking space).

GENERAL DEVELOPMENT STANDARDS FOR EITHER DEVELOPMENT OPTION

A. Landscaping

Landscaping must be provided as required by the existing provisions of ESMC Chapters 15-15A and 15-2. If available and near the site and the City allows, the landscape could be irrigated by recycled water.

B. Walls and Fences

All walls and fences must comply with ESMC § 15-2-4, Decorative masonry, open work wrought iron and similar materials are permitted. The use of chain link and razor wire is prohibited.

C. Access

All development projects must provide adequate access for emergency vehicles. In addition, all development projects must provide pedestrian access between buildings.

D. Signs

Signs located in the Specific Plan area must comply with the requirements of ESMC Chapter 15-18.

E. Sustainability Standards

All homes will achieve a 15% improvement over the 2013 California Energy Code. Each home will accommodate the future installation of Electric Vehicle charging infrastructure. Compliance with City residential noise insulation standards (ESMC 13-1-4) shall be met. As a standard, GreenGuard Certified insulation will be utilized.

F. Design Standards

1. Building Modulation

Building form and massing play a critical role in framing urban environments. Buildings should incorporate design and construction methods that add a human-scale to the building massing and three dimensional detailing that casts shadows and creates visual interest on the facade.

(a) Two-story Single-Family Modulation (refer to Exhibit 12):

- (i) On 2-story homes, the front second floor must be setback at least 1-foot from the first floor.**
- (ii) The second floor shall be no more than 60 percent (60%) of the first floor footprint (uncovered decks are not part of this calculation).**
- (iii) Modulation of the second floor exterior perimeter walls must occur where the wall is visible from the street.**
- (iv) Second floor side walls visible from the street must have a varied setback.**
- (v) All second story side walls not visible from the street must include three of the following accents:**
 - Windows,
 - Window trim,
 - Shutters,
 - Awnings,
 - Major change in grade,
 - Building off-sets; or
 - Other similar three-dimensional permanent exterior element of a building or structure that provides relief from large flat wall planes, breaks up building wall mass, and lends to the overall form, context and appearance of the building or structure.
- (vi) Second floor rear walls must have an off-set a minimum of fifteen feet (15') refer to Exhibit 12.**

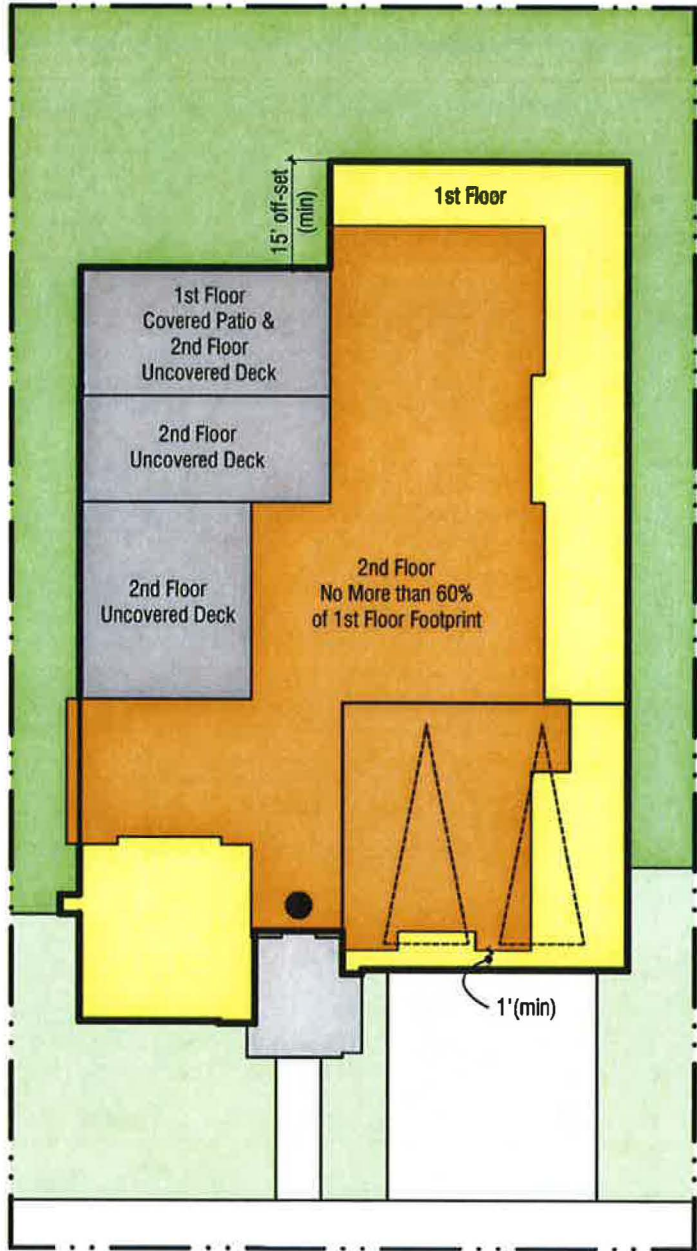
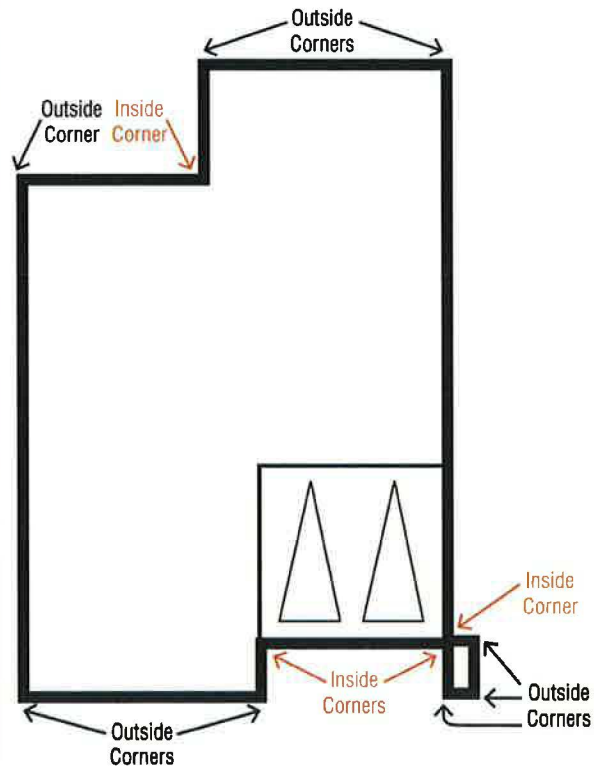


Exhibit 12 - Two-Story Single-Family Home Modulation

(b) Multi-family Modulation:

- (i) No plane facing a property line shall exceed twenty-four feet (24') horizontally without at least a one-foot (1') off-set horizontally or vertically for a minimum length of six feet (6').
2. All colors, textures, and materials on exterior elevation(s) must be coordinated to achieve a continuity of design throughout the 5.68-acre portion of the Project Site, regardless of whether the units are developed at the same time.
3. Single-family homes must have contrasting accent features that use at least two primary exterior building materials (including, without limitation, stucco, shingles, siding, stone, rock, and brick) and one exterior wall plane color and one trim color.
4. Multi-family buildings must have contrasting accent features that use at least two primary exterior building materials (including, without limitation, stucco and siding) and two exterior wall plane colors and one trim color.
5. All material and color changes must occur on an inside corner.



Material change only permitted at an inside corner

Exhibit 13 - Example of a Material Change at an Inside Corner

6. All garage doors shall be enhanced. To provide variety for the single-family street scene garage doors shall be varied. This variety could include the same door with or without windows, or with different number of panels or trims.



Exhibit 14 - Example of Garage Door Variety

7. Building materials must be of non-reflective coatings and glazings and windows must use low-reflectivity glass.

8. All material finishes should express permanence and quality:

(a) Stucco finish should project high quality and be appropriate to the architectural style. "Heavy Lace" and "Spanish Texture" stucco finishes are prohibited.

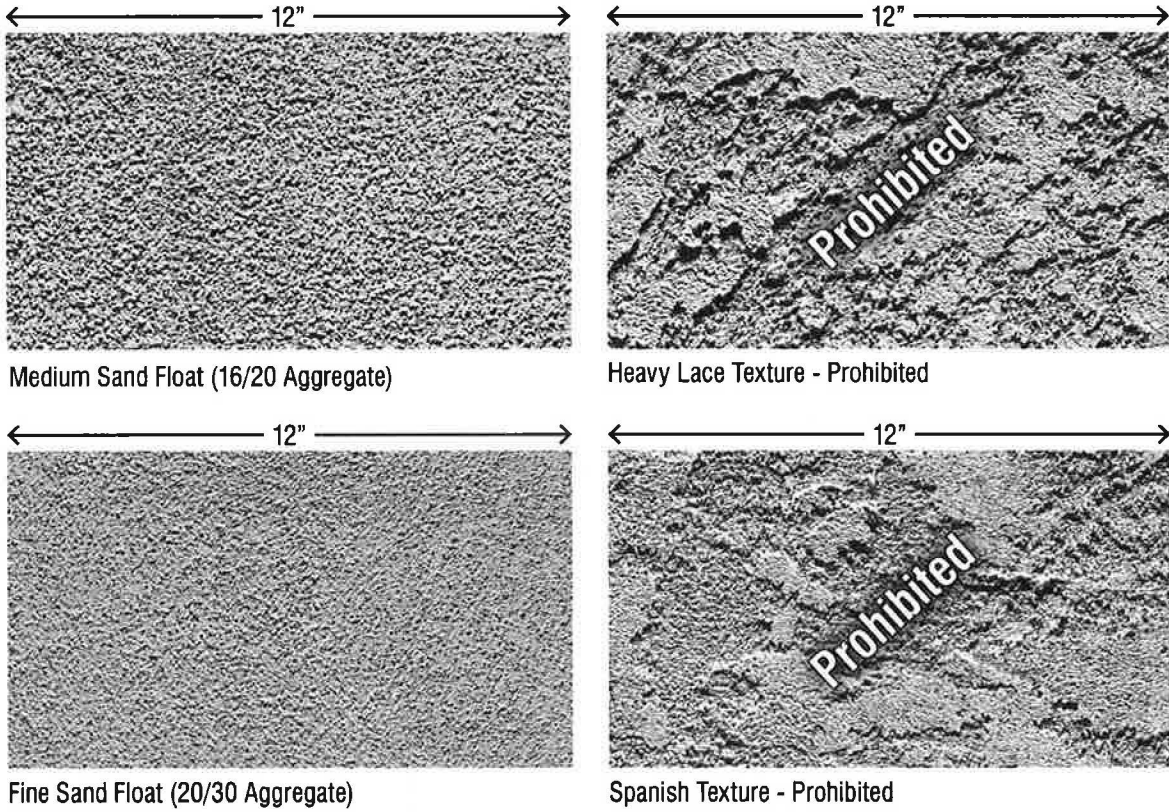


Exhibit 15 - Examples of Stucco Quality

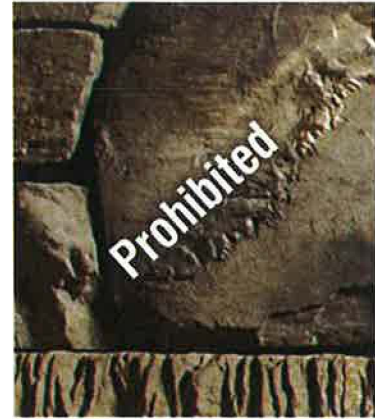
(b) Manufactured stone veneers shall have a texture and color that mimics natural stone and be of exceptional quality.



Stone with poor application of color example



Unnatural looking stone from a worn out mold with poor detailing



Unnatural looking stone from a old & deteriorating mold example



Stone corner application example



Stacked stone application example



Grouted stone application example

Source: Creative Mines

Exhibit 16 - Examples of Stone Veneer Quality

9. Plans must be reviewed and approved by the Director of Planning and Building Safety or other Planning Department designee for compliance with these Design Standards. If the Director or designee finds that such plans are non compliant, an applicant may appeal that decision in accordance with the ESMC.

G. Phasing

The housing on the entire 5.68-acre Project Site may be developed in one or more phases.

H. Transportation Demand Management (TDM)

Option 1, the Senior Housing Community/Multi-Family Residential (R-3) project, must provide two bulletin boards, display cases or kiosks displaying transportation information located where it is visible to the greatest number of residents and employees (one within the assisted living development and one within the senior residential development). Information in the area must include, without limitation, the following:

1. Current maps, routes and schedules for public transit routes serving the site;
2. Telephone numbers for referrals on transportation information including numbers for the regional ridesharing agency and local transit operators;
3. Ridesharing promotional material supplied by commuter-oriented organizations;
4. Bicycle route and facility information including regional/local bicycle maps and bicycle safety information; and
5. A list of facilities available for carpoolers, vanpoolers, bicyclists, transit riders, residents and pedestrians at the site.

4.3 MODIFICATIONS

The following requirements apply to Option 1 and to Option 2:

A. Minor Modifications/Administrative Approvals

The Developer may make minor changes to the Project and Project Approvals ("Minor Modifications") without amending this Specific Plan upon the administrative approval of the Director of Planning and Building Safety or designee, provided that such modifications are consistent with the Development Standards, Applicable Rules and Project Approvals.

B. Major Modifications

Unless such modification is approved in accordance with subsection A above or is a use approved subject to an Administrative Use Permit, any proposed modification to the Project which results in any of the following does not constitute a Minor Modification but constitute a Major Modification and require an amendment to this Specific Plan:

1. Any decrease in the required building setbacks;
2. Any increase in the total developable square footage or FAR of the entire Project Site;

3. Any increase in the permitted height of buildings or structures on the Property;
4. Any decrease in the minimum required lot area;
5. Any decrease in the minimum required lot frontage;
6. Any change in use to a use which is not permitted herein;
7. Any deviation from the uses and development standards or limitations set forth in Section 4.1 and Section 4.2 of this Specific Plan, except to the extent these Sections specifically provide for the Council or the Director or designee to approve of such changes;
8. Any material modification to Developer's obligation to provide LEED certification, or such other equivalent standard as determined by the Director of Planning and Building Safety or designee for the Project; or
9. Any material modification that requires modifications to the EIR other than an Addendum.
10. Other than the Major Modifications listed above, all other modifications to the Project are considered "Minor Modifications."

5.0 IMPLEMENTATION AND ADMINISTRATION

5.1 FINANCING AND MAINTENANCE OF IMPROVEMENTS

The financing and maintenance plan for 540 East Imperial Avenue Specific Plan will ensure the timely completion of public facilities, utilities, and other necessary capital improvements as well as the proper maintenance of these facilities. Upon acquisition of permits, it will be the responsibility of the developer to pay for all improvements associated with this Specific Plan and all other approvals related with this Plan as described in Table 1: Financing and Maintenance Plan.

5.1.1 HOA PROTECTION OF HOME VALUE

The developer will establish a Homeowners Association (HOA) to protect, maintain, and enhance this community for perpetuity. The HOA will manage the long-term maintenance of items on site not maintained by the City. The City will have an easement over the internal circulation system for access and maintenance of facilities that will be maintained by the City. The City easement will also be utilized for emergency services and solid waste collection. All wastewater facilities on site must be maintained by the HOA.

The HOA will also maintain the on-site storm drain, lighting, and landscape and irrigation systems located on the common lots as defined by the tentative map. The front yard areas that face the loop road are also HOA maintained. Private areas to be maintained by the Homeowner include areas located behind fences and walls. Any revisions to front yard landscaping must be approved by the HOA.

Table 1: Financing and Maintenance Plan indicates the parties responsible for construction, financing, and maintaining the public improvements proposed by the Specific Plan.

TABLE 1: FINANCING AND MAINTENANCE PLAN			
Service or Facility	Party(ies) Executing Construction	Party(ies) Financing Construction	Party(ies) Responsible for Operation and Maintenance
Sewer Facilities	Developer	Developer	City of El Segundo
Storm Drainage	Developer	Developer	Homeowners Association
On-Site Water	Developer	Developer	City of El Segundo
Off-site Water Facilities	City of El Segundo	Developer	City of El Segundo
Residential Streetscape	Developer	Developer	HOA
Common Area Improvements	Developer	Developer	HOA
Private Area Improvements	Homeowner	Homeowner	Homeowner

5.2 PLAN REVIEW

5.2.1 OVERVIEW

In order to develop a project that is in conformance with the uses, density and FAR approved in this Specific Plan, a Site Plan Review (“SPR”) application must be filed with the Department of Planning and Building Safety. The plans must be in substantial conformance with the approved conceptual plans.

5.2.2 APPLICATION FOR SITE PLAN REVIEW - CONTENTS

The Site Plan Review Application must be submitted in conformance with applicable City application requirements and must include all information deemed necessary by the Director of Planning and Building Safety or designee to address site plan review criteria. The plans must be in substantial conformance with the approved conceptual plans.

5.2.3 SITE PLAN REVIEW – PROCEDURE

- A. The Director of Planning and Building Safety or designee must review an application to ensure there is consistency with the Specific Plan within 30 days after it is submitted.
- B. CEQA Review, if required, must be conducted within the time frames set forth in the Public Resources Code and the California Code of Regulations.

- C. The Site Plan Review must be timely scheduled for public hearing before the Planning Commission, which date cannot exceed 30 days after the completion of the public review period of the environmental documentation, if any, or within 30 days from the date the application is deemed complete if no further environmental review is required. The Planning Commission must render its decision in writing, either approving, approving with conditions, or denying the Site Plan Review application, stating the reasons for such action. The decision of the Planning Commission is final unless appealed to the City Council.
- D. Any aggrieved person may appeal the Planning Commission's decision to the City Council. Such appeal must be filed in writing with the Department of Planning and Building Safety within ten days after the date of the written decision by the Planning Commission. Upon receiving such an appeal and the payment of the appropriate filing fee, the matter must be scheduled for consideration by the City Council not more than 45 days after the date of receipt of the appeal.
- E. The Site Plan is valid for two years from the date of approval. If construction has not commenced within such time, but the applicant has diligently pursued the project plan review process, the Director of Planning and Building Safety or designee may extend the precise plan of design for up to one additional year.
- F. Subsequent to the approval of the Site Plan, the Director of Planning and Building Safety or designee may approve minor changes in the Site Plan or the conditions thereof if he finds that there are practical reasons for such changes, that such changes do not substantially vary from the previously approved site plan and applicable City codes and that such changes do not involve deviations from the design's intent.

5.2.4 SITE PLAN REVIEW CRITERIA

The purpose of the Site Plan Review procedure is to ensure that the development provides a cohesive visual identity and coordinated design character for the Specific Plan area of high quality. The overall coordinated design character must be expressed in the site planning, architecture, landscaping, lighting, and signage. The architectural design is to be compatible in character, massing and materials consistent with the conceptual plan depicted in this Plan. The architectural design must provide a residential character that complements the surrounding uses and integrates the residential uses with the neighborhood to ensure that the project does not have the appearance of a suburban subdivision with a single uniform architectural building design. A minimum of two distinct architectural styles and building designs must be used for the single-family uses and two distinct architectural style and building designs must be used for the multi-family uses. The site design should maximize setback distances of buildings and parking spaces from the existing surrounding residential development to the east, west and south to the extent feasible, minimize the reduction of on-street parking in relationship to driveway placement, and distribute the placement of required landscaping throughout parking areas,

In approving the Site Plan Review the Planning Commission, or City Council on appeal, must consider the following factors:

- A. The dimensions, shape and orientation of the parcel;
- B. The placement of buildings and structures on the parcel;

- C. The height, setbacks, and bulk of buildings;
- D. The building materials and design;
- E. The distance between buildings or structures;
- F. The location, number and layout of off-street parking and loading spaces;
- G. The internal traffic patterns and pedestrian safety features;
- H. The location, distribution, amount and type of landscaping materials and the sustainability of the landscaping material with the El Segundo climate in compliance with the applicable climate zone;
- I. The placement, height and direction of illumination of light standards;
- J. The location, number, size and height of signs;
- K. The location, height and materials of walls, fences or hedges; and
- L. The location and method of screening refuse and storage areas, roof equipment, pipes, vents, utility equipment and all equipment not contained in the main buildings of the development.

5.2.5 APPROVAL CRITERIA

The Planning Commission, or City Council on appeal, will approve the Site Plan if it finds that the site plan, architecture and landscape design, with conditions if necessary are consistent with the Project Description and development standards set forth herein.

5.3 GENERAL ADMINISTRATION

Unless regulated by this Specific Plan, development will be administered and enforced by the City in accordance with the ESMC. This Specific Plan supersedes any conflicts with ESMC zoning regulations.

- A. The Director of Planning and Building Safety or designee may grant administrative use permits in accordance with ESMC Chapter 15-22.
- B. The Director of Planning and Building Safety or designee may make other administrative determinations using the same procedures set forth in ESMC Chapter 15-22.
- C. The Director of Planning and Building Safety or designee may grant adjustments and administrative adjustments in accordance with ESMC Chapter 15-24.

5.4 AMENDMENT

In accordance with the Government Code §§ 65450-65457, Specific Plans must be prepared, adopted and amended in the same manner as General Plans except that Specific Plans may be adopted by resolution or by ordinance.

This plan may be amended as necessary by ordinance. Said amendment or amendments do not require a concurrent General Plan amendment unless the Director of Planning and Building Safety or designee determines that the proposed amendment would substantially affect General Plan goals, policies, objectives or programs.